

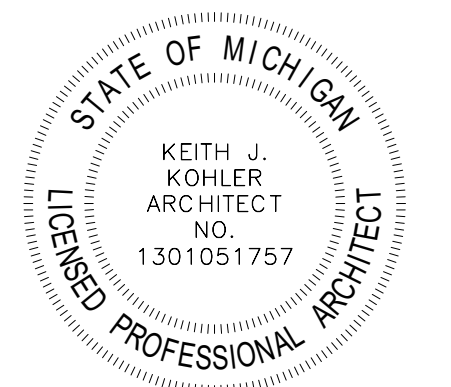


KITCHEN SERVING COUNTER ALTERATIONS & RELATED WORK AT RAISINVILLE ELEMENTARY SCHOOL

2300 NORTH RAISINVILLE ROAD, MONROE, MICHIGAN 48162

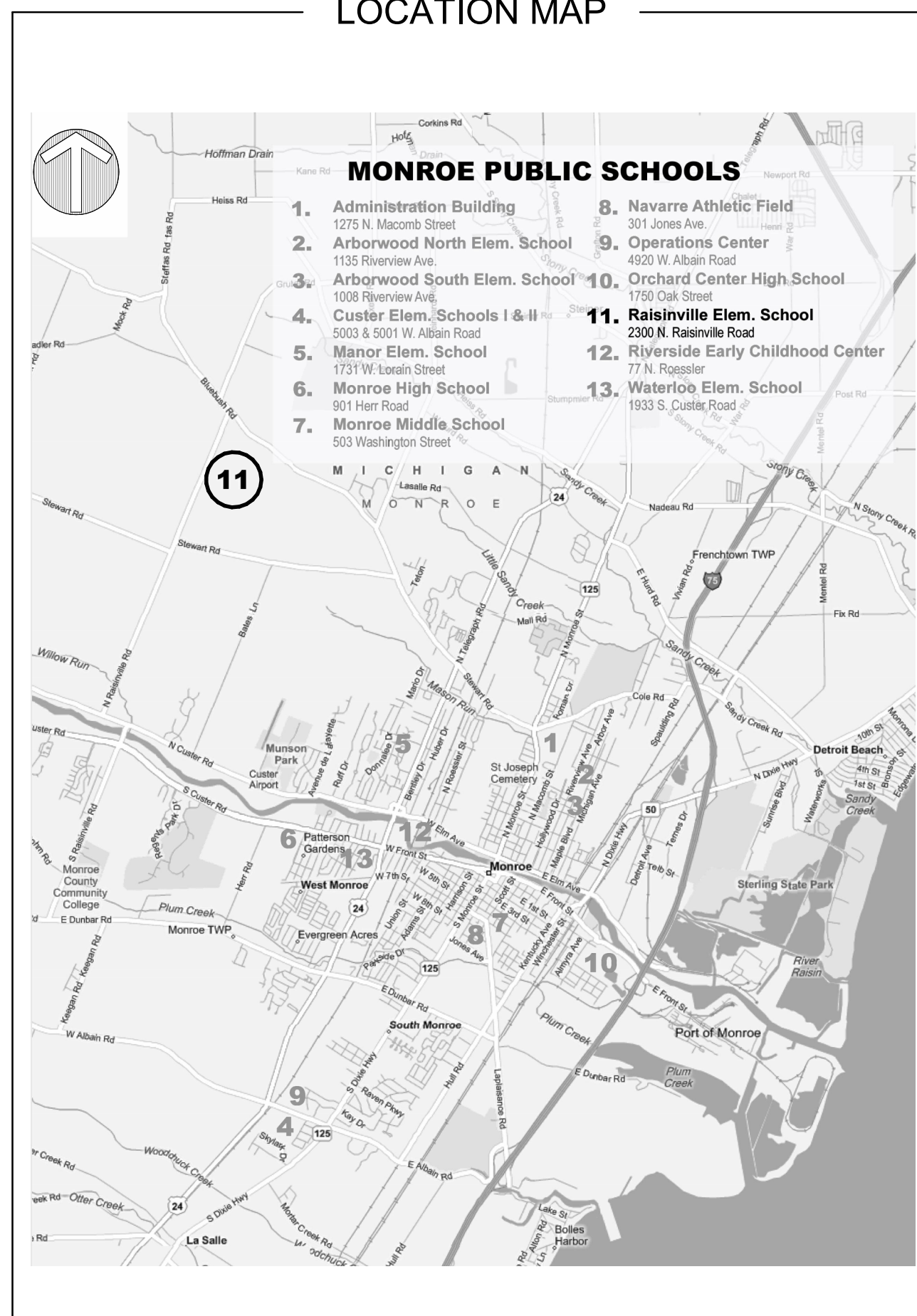


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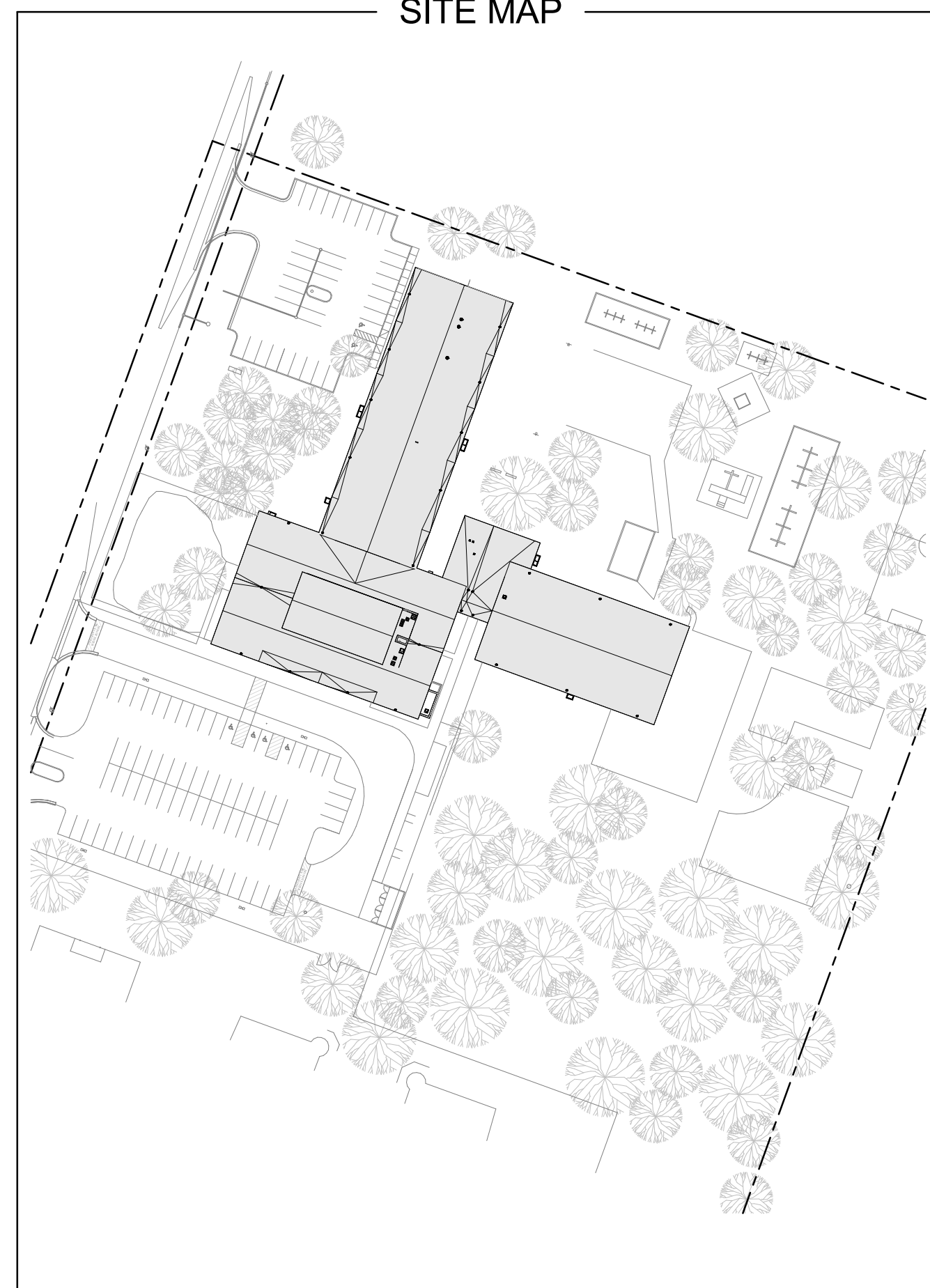


DATE	DESCRIPTION
03.18.2024	BIDDING & STATE REVIEW

LOCATION MAP



SITE MAP



PROJECT DIRECTORY

<p>OWNER: MONROE PUBLIC SCHOOLS 1275 NORTH MACOMB STREET MONROE, MICHIGAN 48162</p> <p>CONTACT: ANDREW SHAW, SUPERINTENDENT E: SHAW@MONROE.K12.MI.US T: 734.265.3150</p>	<p>ARCHITECT OF RECORD: KOHLER ARCHITECT, INC. 1118 WEST FRONT STREET MONROE, MICHIGAN 48161</p> <p>CONTACT: VICTORIA CAPRANICA, PROJECT ARCHITECT E: VCAPRANICA@KOHLERARCHITECT.NET T: 734.242.6880</p>	<p>MECHANICAL ENGINEER OF RECORD: KLEINFELDER 415 CONANT STREET MAUMEE, OHIO 43537</p> <p>CONTACT: RYAN D. GRAMLING, PROJECT MANAGER E: RGRAMLING@KLEINFELDER.COM T: 419.891.0022</p>
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DRAWING INDEX

T0.00	TITLE SHEET
T1.00	ABBREVIATIONS, LEGENDS, SYMBOLS, & BUILDING CODE
A1.00	KITCHEN DEMOLITION FLOOR PLAN
A1.01	BOILER ROOM DEMOLITION FLOOR PLAN
A2.00	KITCHEN CONSTRUCTION FLOOR PLAN & NOTES
A3.00	KITCHEN REFLECTED CEILING PLAN
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E1.01	ELECTRICAL LEGEND, SPECIFICATIONS, PANEL SCHEDULE & DETAILS
E3.01	ELECTRICAL POWER & SYSTEMS PLANS

PROJECT DESCRIPTION

PROJECT OVERVIEW:
THE PROJECT CONSISTS OF BUT IS NOT LIMITED TO THE ALTERNATION OF THE EXISTING SERVING COUNTER. THE EXISTING STAINLESS STEEL COUNTER AND BUILT IN EQUIPMENT WILL BE REMOVED AND NEW STAINLESS STEEL COUNTER WILL BE REBUILT IN ITS PLACE. THE EXISTING OVERHEAD DOOR WILL BE REMOVED AND TWO NEW DOORS WILL BE INSTALLED IN ITS PLACE. ADDITIONAL WORK INCLUDES LEVELING OF THE EXISTING CONCRETE FLOORING AND INSTALLING NEW TILE FINISH.

ALTERNATE #1: NO WORK AT THIS LOCATION

ALTERNATE #2:

- EXAMINE AND PREP ALL AREAS INDICATED ON THE DRAWINGS AND AS REQUIRED FOR THE FOLLOWING WORK, NOTIFYING THE ARCHITECT AND GENERAL CONTRACTOR OF ANY ISSUES PRIOR TO STARTING.
- INCLUDE POWER OPTION AND MOTORS FOR THE TWO NEW OVERHEAD DOORS BEING INSTALLED AT THE MODIFIED SERVING COUNTER.
- DRAWINGS ALSO REFER TO THIS WORK AS ALTERNATE E-1.

KITCHEN SERVING COUNTER ALTERATIONS & RELATED WORK

AT
RAISINVILLE ELEMENTARY SCHOOL
2300 NORTH RAISINVILLE ROAD, MONROE, MICHIGAN 48162
FOR
MONROE PUBLIC SCHOOLS
1275 NORTH MACOMB STREET, MONROE, MICHIGAN 48162

JOB # 24102

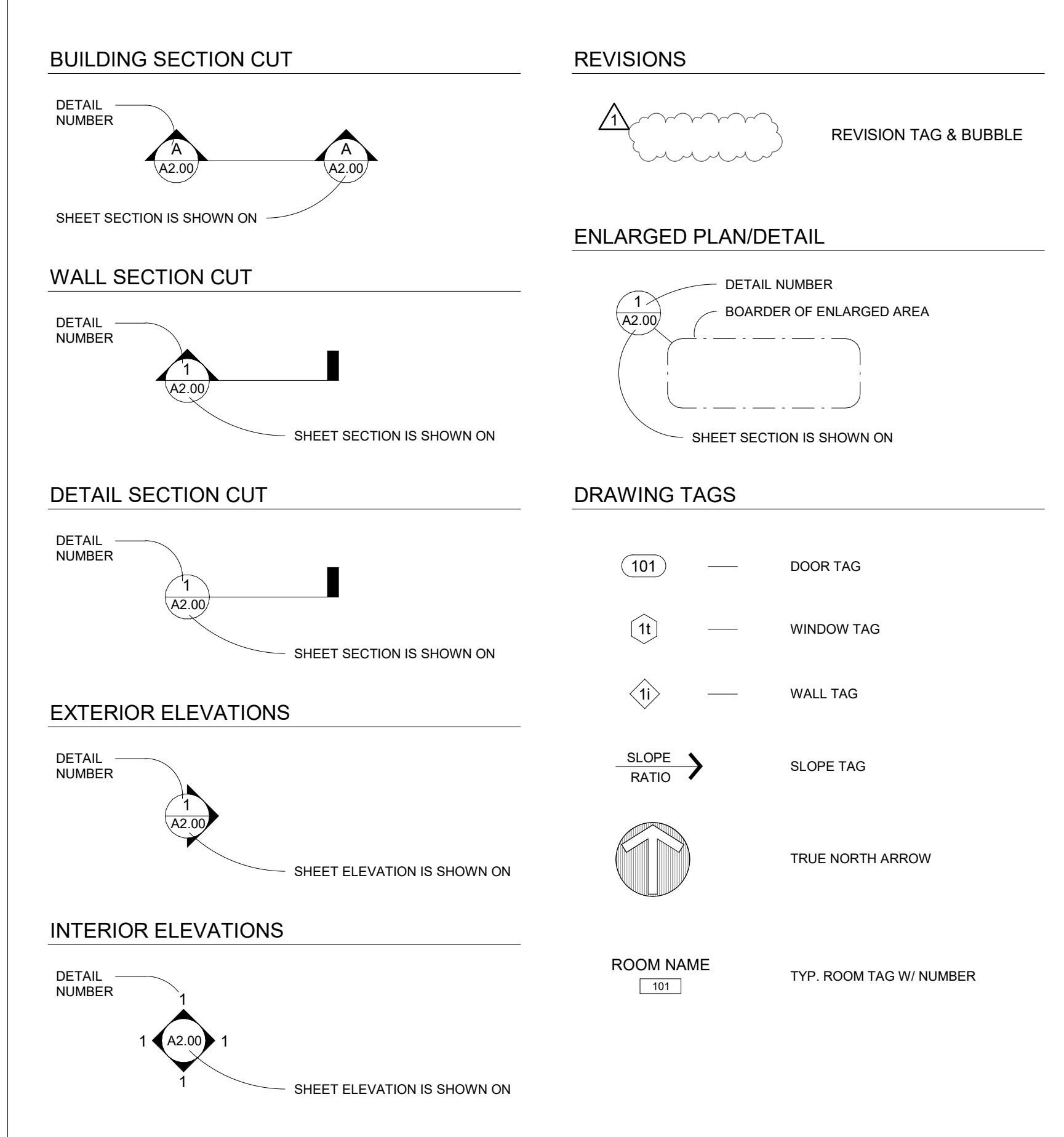
TITLE SHEET

T0.00

ABBREVIATIONS

"	INCHES	ENCL	ENCLOSURE	LOC	LOCATION	SIM	SIMILAR TO
#	POUND/NUMBER	ENT	ENTRANCE	LT	LIGHT	SKY	SKYLIGHT
%	PERCENT	EPDM	ETHYLENE PROPYLENE DIENE MONOMER	LTL	LINTEL	SMH	SEWER MANHOLE
&	AND	EQ	EQUAL	LVR	LOUVER	SP	SPACES
'	FEET	EQU	EQUIPMENT	LW	LONG WAY	SPEC	SPECIFICATION
/	PER	EXC	EXCAVATE / EXCAVATION	M.O.	MASONRY OPENING	SQ	SQUARE
<	ANGLE	EXIST	EXISTING	MAS	MASONRY	SS	SOLID SURFACE
@	AT	EXP	EXPANSION	MATL	MATERIAL	SSMA	STEEL STRUCTURAL MANUFACTURERS ASSOCIATION
©	COPYRIGHT	EXPD	EXPOSED	MAX	MAXIMUM	SST	STAINLESS STEEL
°	DEGREE	EXT	EXTERIOR	MBR	MEMBER	STD	STANDARD
±	PLUS/MINUS	F.A.	FIRE ALARM	MC	MOMENT CONNECTION	STIFF	STIFFENER
∅	DIAMETER	F.D.	FLOOR DRAIN	MDF	MEDIUM DENSITY FIBREBOARD	STL	STEEL
A.B.	ANCHOR BOLT	F.E.	FIRE EXTINGUISHER	MECH	MECHANICAL	STOR	STORAGE
A.C.	AIR CONDITIONING	F.E.C.	FIRE EXTINGUISHER CABINET	MED	MEDIUM	STRUC	STRUCTURAL
A.D.	AREA DRAIN	F.H.YD.	FIRE HYDRANT	MEMB	MEMBRANE	SUSP	SUSPENDED
ACT	ACOUSTICAL CEILING TILE	F.O.	FACE OF	MEZZ	MEZZANINE	SW	SHORT WAY
ADD	ADDITIONAL	F.O.C.	FACE OF CONCRETE / CURB	MFR	MANUFACTURER	SYM	SYMMETRICAL
ADDM	ADDENDUM	F.O.F.	FACE OF FINISH	MH	MANHOLE	T&B	TOP AND BOTTOM
ADJ	ADJUSTABLE	F.O.M.	FACE OF MASONRY	MIN	MINIMUM	T&G	TOUNGE AND GROOVE
AFF	ABOVE FINISHED FLOOR	F.O.S.	FACE OF STUDS	MISC	MISCELLANEOUS	T	TREAD
AGGR	AGGREGATE	F.R	FIRE RATED	MTD	MOUNTED	T.G	TEMPERED GLASS
AHU	AIR HANDLING UNIT	F.R.P.	FIBER-REINFORCED PLASTIC	MTG	MOUNTING HEIGHT	T.O.	TOP OF
ALT	ALTERNATE	F.R.T.	FIRE RETARDANT TREATED	MULT	MULLION	T.O.C	TOP OF CONCRETE
ALUM	ALUMINUM	F.S.	FAR SIDE	MULT	MULTIPLE	T.O.M	TOP OF MASONRY
ANOD	ANODIZED	F/BLDG	FACE OF BUILDING	N	NORTH	T.O.S	TOP OF STEEL
APPRO	APPROXIMATE	F/CONC	FACE OF CONCRETE	N.I.C.	NOT IN CONTRACT	T.S	TUBE STEEL
X		FDC	FIRE DEPARTMENT CONNECTION	N.O	NUMBER	T.V.	TELEVISION
ARCH	ARCHITECTURAL	FF	FINISH FLOOR	N.N.R.	NOT RATED	TECH	TECHNICAL
AUTO	AUTOMATIC	FFE	FINISH FLOOR ELEVATION	N.S.	NEAR SIDE	TELE	TELEPHONE
B.O.	BOTTOM OF	FHV	FIRE HOSE VALVE CABINET	N.T.S.	NOT TO SCALE	TEMP	TEMPERATURE
B.P.L.	BASE PLATE	FIN	FINISH	N.F.P.A.	NATIONAL FIRE PROTECTION ASSN	TERR	TERRAZZO
BD	BOARD	FIXT	FIXTURE	NOM	NOMINAL	THRU	THROUGH
BDF	BUILDING DISTRIBUTION FACILITY	FLASH	FLASHING	NORM	NORMAL	TRANS	TRANSITION
BFP	BACK FLOW PREVENTER	FLG	FLANGE	NORM	NORMAL	TYP.	TYPICAL
BIT	BITUMINOUS	FLR	FLOORING	NRC	NOISE REDUCTION COEFFICIENT	U.N.O.	UNLESS NOTED OTHERWISE
BLDG	BUILDING	FLUR	FLUORESCENT	O.C.	ON CENTER	UL	UNDERWRITERS LABORATORIES, INC.
BLK	BLOCK	FRMG	FRAMING	O.D.	OVERFLOW DRAIN	UNF	UNFINISHED
BLKG	BLOCKING	FT	FOOT / FEET	O.F.	OUTSIDE FACE	UR	URINAL
BM	BEAM	FTG	FOOTING	O.F.S.	OUTSIDE FACE OF STUD	V.A.T.	VINYL ASBESTOS TILE
BOT	BOTTOM	FURR	FURRING	O.H.	OVERHEAD	VB	VAPOR BARRIER
BRDG.	BRIDGING	G	GAS	O.I.O.	OWNER FURNISH / CONTRACTOR INSTALL	VCT	VINYL COMPOSITION TILE
BRG	BEARING	G.B.	GRADE BEAM	OF/CI	OWNER FURNISH / OWNER INSTALL	VEST.	VESTIBULE
BTJ.	BOLTED TIE JOINT	G.C.	GENERAL CONTRACTOR	OFF	OFFICE	VIF	VERIFY IN FIELD
BTWN	BETWEEN	G.F.R.G.	GLASS FIBER REINFORCED GYPSUM	OPNG	OPENING	VWC	VINYL WALL COVERING
BW	BACK OF WALK	G.I.	GALVANIZED IRON	OPP	OPPOSITE	W	WEST
C.B.	CATCH BASIN	G.R.	GUARDRAIL	ORIG	ORIGINAL	W.C.	WATER CLOSET
C.G	CORNER GUARD	GA	Gauge	OVHG	OVERHANG	W.P.	WORK POINT
C.I.	CAST IRON	GEN	GENERATOR	OZ	OUNCE	W/	WITH
C.I.P.	CAST-IN-PLACE	G.F.	GROUND FAULT INTERRUPTED	P.C.	PRECAST CONCRETE	W/O	WITHOUT
C.J.	CONTROL JOINT	H.D.F.	HANDICAP DRINKING FOUNTAIN	P.O.C.	POINT OF CONNECTION	WD	WOOD
C.L.	CENTERLINE	HB	HOSE BIBB	P.T.	PRESSURE TREATED	WDW	WINDOW
C.O.	CLEAN OUT	HC	HANDICAP ACCESSIBLE	PL	PROPERTY LINE	WF	WIDE FLANGE
C.Y.	CUBIC YARD	H.D'	HEADED	PAR	PARALLEL	WH	WATER HEATER
CANTL	CANTILEVER	HDR	HEADER	PARAP	PARAPET	WP	WATERPROOF
CEM	CEMENT	HDW	HARDWARE	PERF	PERFORATED	WRB	WEATHER RESISTANT BARRIER
CFI	COUNTERFLASHING	HORIZ	HORIZONTAL	PL	PLATE	WSCT	WAINGSCOT
CID	CLEAR INSIDE DIMENSION	HR	HOUR	PLAM	PLASTIC LAMINSTE	WT	WEIGHT
CLG	CEILING	HRSV	HEAT RECOVERY UNIT	PLT	PARTIAL BOARD	WTR	WATER
CLKG	CAULKING	HSS	HOLLOW STEEL SECTION	BD.	BOARD	WWF	WELDED WIRE FIREBRIC
CLO	CLOSET	HT	HEIGHT	PLUM	PLUMBING	XFMR	TRANSFORMER
CLR	CLEAR	HVAC	HEATING / VENTILATING / AIR CONDITIONING	PLYWD	PLYWOOD		
CLRM	CLASSROOM	I.D.	INSIDE DIAMETER / DIMENSION	PNT	PAINT		
CMU	CONCRETE MASONRY UNIT	I.F.	INSIDE FACE	PR	PAIR		
CNTR	COUNTER	IN	INCH(ES)	PSF	POUNDS / SQUARE FOOT		
COL	COLUMN	INCD	INCLUDED	PSI	POUNDS / SQUARE INCH		
CONC	CONCRETE	IND	INDUSTRIAL	PT	POINT		
CONN	CONNECTION	INDO	INDUSTRIAL	PTN	PARTITION		
CONSTR	CONSTRUCTION	INFO	INFORMATION	PVC	POLYVINYL CHLORIDE		
R		INSUL	INSULATION	PVMT	PAVEMENT		
COORD	COORDINATE	INT	INTERIOR	PWR	POWER		
CORR	CORRIDOR	J.B.	JUNCTION BOX	QT	QUARRY TILE		
CPT	CARPET	J.B.	JOIST / BEARING	QTY	QUANTITY		
CSK	COUNTERSINK / COUNTERSUNK	JAN	JANITOR	R	RADIUS / RISER		
CSMT	CASEMENT	JNT	JOINT	R.A.	RETURN AIR		
CT	CERAMIC TILE	JST.	JOIST	R.B.	RUBBER OR RESILIENT BASE		
CU FT	CUBIC FOOT / FEET	JT	JOINT	R.D.	ROUGH OPENING		
		K	KIP (1000 lbs)	R.O.	ROUGH OPENING		
		K.P.L.	KICK PLATE	RAD	RADIUS		
		K.D	KNOCK DOWN	REF	REFERENCE		
		K.O.	KNOCK OUT	REFG	REFRIGERATOR		
		KIT	KITCHEN	REINF	REINFORCED		
		KW	KILOWATT	REQD	REQUIRED		
		L	LEGTH	RESIL	RESILIENT		
		L.G.	LONG	RET.	RETAINING		
		L.H.	LEFT HAND	REV	REVISED / REVISION		
		L.L.	LIVE LOAD	RH	ROUGH HATCH		
		L.W.C.	LIGHT WEIGHT CONCRETE	RM	ROOM		
		LAB	LABORATORY	RTU	ROOF TOP UNIT		
		LAM	LAMINATE	S	SOUTH		
		LAV	LAVATORY	S.C.	SOLID CORE		
		LB	LOAD	S.F.	STOREFRONT		
		LKR	LOCKER	S.O.G.	SLAB ON GRADE		
		LLH	LONG LEG HORIZONTAL	S.V.	SHEET VINYL		
		LLV	LONG LEG VERTICAL	SCHED	SCHEDULED		
				SD	STORM DRAIN / SMOKE DETECTOR		
				SECT.	SECTION		
				SGT	STRUCTURAL GLAZED TILE		
				SH	SHelf		
				SHT	SHEET		
				SHTHG	SHEATHING		
				SHWR	SHOWER		
				SIM.	SIMILAR		

SYMBOLS LEGEND



GENERAL NOTES

- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE SECTIONS OF THE FEDERAL, STATE AND LOCAL BUILDING CODES, ZONING ORDINANCE, HEALTH AND FIRE REGULATIONS AS ADOPTED BY THE LOCAL GOVERNING BUILDING AUTHORITY.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY BUILDING PERMITS FROM ALL GOVERNING AGENCIES INCLUDING THE CITY / TOWNSHIP AND SUBMIT FOR THEIR USE ANY CERTIFICATES OF INSURANCE, BONDS, ESCROW ACCOUNTS, LICENSES, PAY ALL FEES, OBTAIN ALL APPROVALS, ETC. ALL AS MAY BE REQUIRED TO COMPLETE THIS PROJECT
- CONTRACTOR SHALL RETAIN THE SERVICES OF AN APPROVED THIRD PARTY AGENCY TO PERFORM ALL SPECIAL INSPECTIONS AND TESTING AS REQUIRED BY THE LOCAL GOVERNING BUILDING CODE, GOVERNING BUILDING AUTHORITY, OR AS CALLED OUT IN THESE CONSTRUCTION DOCUMENTS. NOTIFY OWNER / ARCHITECT, IMMEDIATELY, OF ANY FAILED TESTS OR INSPECTIONS AND PROVIDE OWNER WITH ALL WRITTEN REPORTS AND TEST RESULTS AT PROJECT COMPLETION.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK. IF ANY DIFFERENCES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY, IN WRITING FOR CLARIFICATION PRIOR TO PROCESSING WITH WORK.
- THESE DOCUMENTS ARE DEVELOPED TO PROVIDE THE CONTRACTOR WITH A WORKING KNOWLEDGE OF THE SYSTEMS AND MATERIALS TO BE INSTALLED, AND THE SCOPE OF WORK. WHERE THESE DOCUMENTS ARE IN CONFLICT WITH THE JOB CONDITIONS, OR STANDARD DETAILS OR SPECIFICATIONS OF THE MANUFACTURED COMPONENT, OR AFFECT THE GUARANTEE, THEY SHALL BE MODIFIED AS REQUIRED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT.
- PROVIDE AND MAINTAIN SUITABLE TEMPORARY FENCES, BARRICADES, LIGHTS, WARNINGS, ETC., FOR PROTECTION OF PUBLIC AND OTHERS HAVING ACCESS TO THE SITE. CONTRACTOR SHALL KEEP CLEAN AND ADEQUATELY PROTECT ALL STREETS, DRIVES, WALKS, BLDGS, ETC., FROM DAMAGE DUE TO ANY ITEM INVOLVED WITH THIS WORK. ANY DAMAGED WORK SHALL BE REPLACED / REPAIRED AT CONTRACTORS EXPENSE.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BY CONTRACTING "MISS DIG", RESPONSIBLE UTILITY COMPANY, REVIEW ALL SURVEYS, AS BUILT DRAWINGS, AND SEEK ANY OTHER INFORMATION FROM THE OWNER, PRIOR TO BEGINNING EXCAVATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF AND COORDINATE ALL ASSOCIATED WORK WITH THE EXISTING UTILITIES AND RELATED SERVICE CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES.
- CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS (DO NOT SCALE DRAWINGS), WHERE NONE ARE PRESENT OR IN CONFLICT WITH WRITTEN, FIELD MEASURE AND/OR NOTIFY ARCHITECT FOR CLARIFICATION.
- SHOULD THE CONTRACT DOCUMENTS DISAGREE (DRAWINGS AND SPECIFICATIONS), THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING. THE BETTER QUALITY OR LARGER QUANTITY OF MATERIALS OR WORK SHALL BE INCLUDED IN THE BID AND UNLESS OTHERWISE ORDERED IN WRITING, SHALL BE FURNISHED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS, SPECIFICATIONS AND ALL OTHER DATA OR INSTRUCTIONS PERTAINING TO THE WORK, BEFORE COMMENCING PHYSICAL WORK. THE CONTRACTOR SHALL LOCATE ALL GENERAL REFERENCE POINTS AND TAKE SUCH ACTION AS IS NECESSARY TO PREVENT THEIR DESTRUCTION; LAY OUT HIS WORK AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS OF BUILDINGS, GRADING, PAVING, UTILITIES AND OTHER WORK EXECUTED BY HIM UNDER THE CONTRACT. HE MUST EXERCISE PROPER PRECAUTIONS TO VERIFY FIGURES SHOWN ON DRAWINGS BEFORE LAYING OUT WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, HIS SUB-CONTRACTOR AND/OR SUPPLIER TO WORK FROM A FULL SET OF CONTRACT DOCUMENTS FOR BOTH THE WORK TO BE COMPLETED AND IN PREPARATION OF THE SHOP DRAWINGS, SO THAT EACH PART OR COMPONENT WILL WORK WITH THOSE PARTS AS FURNISHED OR FABRICATED BY OTHERS, AND THE ASSEMBLED WHOLE WORKS TOGETHER AS INTENDED.
- MATERIALS - SHALL BE NEW. SECONDS OR DAMAGED MATERIALS WILL BE REJECTED BY THE ARCHITECT, WHO RESERVES THE RIGHT TO DISAPPROVE AND REJECT ANY MATERIALS PROPOSED OR INSTALLED, WHICH IN HIS OPINION FAIL TO MEET QUALITY STANDARDS SPECIFIED.
- THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO ASBESTOS AND HAZARDOUS MATERIALS IN ANY FORM FOR THE PROJECT.
- AS-BUILTS - THE CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ALL DEVIATIONS FROM THE CONTRACT DRAWINGS AND SPECIFICATIONS. HE SHALL NEATLY AND CORRECTLY DRAFT (NO FREEHAND) ANY DEVIATIONS ON THE DRAWINGS AFFECTED AND SHALL KEEP DRAWINGS AVAILABLE FOR INSPECTION. GIVE TO THE ARCHITECT AT COMPLETION.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING, BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSULATION, CONDUITS, RACEWAYS, SPRINKLER SYSTEM, LIGHT FIXTURES, CEILING SYSTEM, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISHED FLOOR INDICATED IN THE DRAWINGS AND THE FINISH SCHEDULE. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF THE CEILING).
- IN AREAS OF NEW WORK, ACCESS PANELS SHALL BE PROVIDED AND INSTALLED WHEREVER REQUIRED BY CODE OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECHANICAL OR ELECTRICAL EQUIPMENT (I.E. TERMINAL BOXES, VALVES, DAMPERS, ETC.), WHETHER OR NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, AND TYPE OF ACCESS PANEL WITH OTHER CONTRACTORS WORK AND RECEIVE APPROVAL OF THE ARCHITECT. ACCESS PANEL SHALL NOT BE LOCATED, FRAMED OR INSTALLED WITHOUT EXPRESSED APPROVAL OF THE ARCHITECT.
- ALL DUCT PENETRATION THROUGH PARTITIONS AND CEILINGS SHALL BE PROVIDED WITH NECESSARY FRAMED OPENINGS, BRACING, AND FIRE DAMPERS AS REQUIRED BY CODE.
- THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BUILDING PRIOR TO PROCEEDING WITH WORK.
- SIZE OF MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY DIMENSIONS WITH RESPECTIVE EQUIPMENT MANUFACTURER.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ACCESSORIES AND OF ALL FLOOR-MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.



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JOB # **24102**

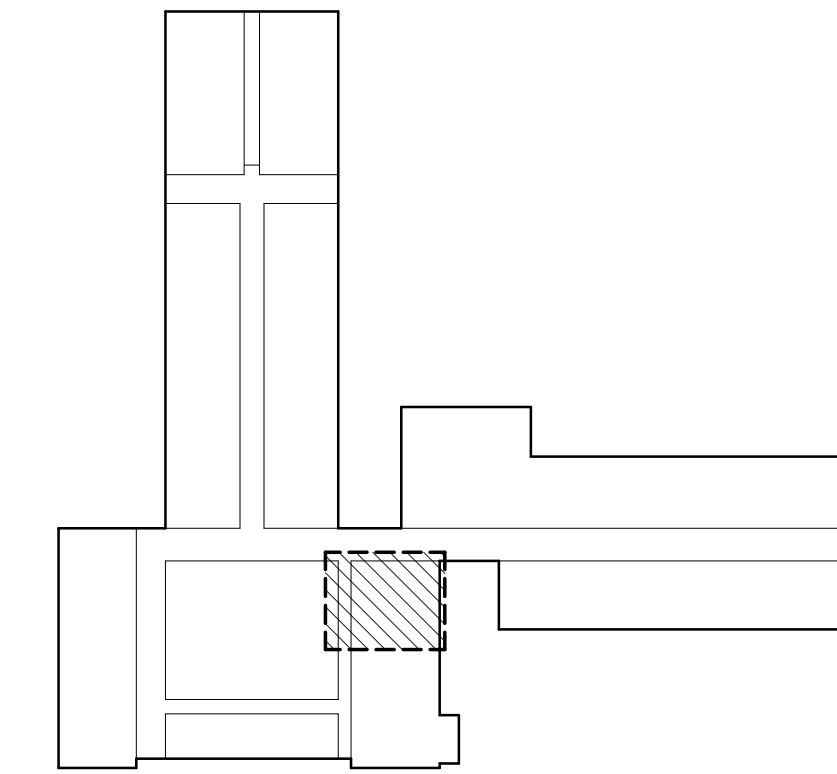
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T1.00



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MAKE
MAKE



KEY PLAN
SCALE: 1" = 80'-0"

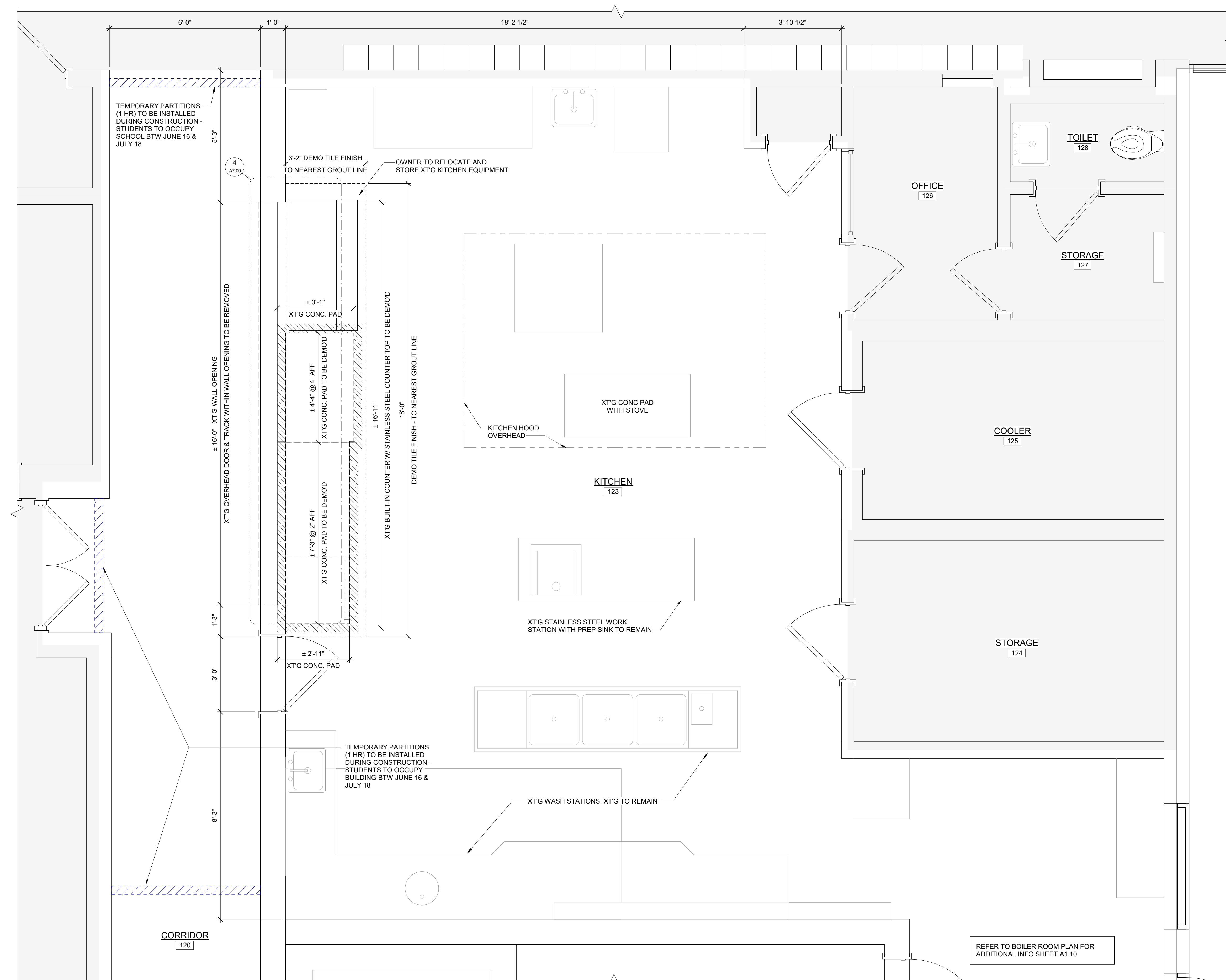
GENERAL DEMOLITION NOTES:

- COORDINATE ALL DEMOLITION WITH THE OWNER'S HAZARDOUS MATERIAL ABATEMENT DOCUMENTS AND SCOPE.
- DEMOLITION CONTRACTOR TO PROTECT ALL AREAS ADJACENT TO CONSTRUCTION AND COMMON POINTS OF TRAVEL TO AND FROM CONSTRUCTION AREAS. PROTECTION IN THESE AREAS TO INCLUDE AIR QUALITY, WALK SURFACES, EQUIPMENT, FURNISHINGS, BUILDING OCCUPANTS, ETC. FROM DUST / DEBRIS, EXCESSIVE NOISE, WEAR, OR DAMAGE OF ANY KIND. PRIOR TO ANY PHYSICAL WORK, THE CONTRACTOR MUST HAVE A WRITTEN PLAN FOR PROTECTION APPROVED BY THE ARCHITECT.

AREA OF HIGH REPLACEMENT VALUE OR MORE LIKELY FOR DAMAGE ARE TO HAVE ADDED PROTECTION (I.E. GYM FLOORS, ROOFING, ETC.)
- ANY WORK UNDER THE CONTRACT THAT WILL INTERRUPT THE OWNER'S ACTIVITIES SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- ALL DEMOLITION WORK REQUIRED IS NOT LIMITED TO THAT INDICATED ON PLAN. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
- PRIOR TO COMMENCEMENT OF DEMOLITION WORK, CONTRACTOR IS TO INSPECT ALL AREAS IN WHICH WORK WILL BE PERFORMED. DOCUMENT EXISTING CONDITIONS OF STRUCTURE, SURFACES, EQUIPMENT OR SURROUNDING AREAS WHICH COULD BE MISCONSTRUED AS DAMAGE RESULTING FROM DEMOLITION WORK AND FILE WITH CONSTRUCTION MANAGER OR ARCHITECT.
- NOTIFY ARCHITECT IF ANY EXISTING ITEM THAT CONFLICTS WITH THE INTENDED FINAL PRODUCT IS NOT SPECIFICALLY CALLED OUT. DEMOLITION CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS & FIELD CONDITIONS BEFORE PROCEEDING WITH DEMOLITION AND / OR CONSTRUCTION.
- ALL DEMOLITION WORK, UNLESS OTHERWISE NOTED IN THE PROJECT MANUAL, DRAWINGS OR DIRECTED BY OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. ALL DEBRIS CAUSED BY DEMOLITION AND CONSTRUCTION SHALL BE CLEARED AND REMOVED FROM THE SITE. DEBRIS STORAGE SHALL NOT INFRINGE ON CLEAR PATH OF EGRESS.
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
- PROTECT EXISTING STRUCTURES, FINISHES, UTILITIES AND OTHER ITEMS SCHEDULED TO REMAIN. AREAS THAT ARE DAMAGED BY SELECTIVE DEMOLITION SHALL BE PATCHED AND REPAIRED AND FINISHED OR REPLACED TO MATCH EXISTING ADJACENT SURFACES.
- CONTRACTOR TO COORDINATE A WALK THROUGH WITH THE CONSTRUCTION MANAGER AND OWNER PRIOR TO EACH PHASE OF DEMOLITION TO IDENTIFY ALL REMAINING / ITEMS TO BE SALVAGED.
- FOR ANY ITEMS TO BE SALVAGED BY CONTRACTOR, PROVIDE A DETAILED INVENTORY LIST OF ALL SALVAGED ITEMS AND THEIR STORED LOCATIONS ON SITE.
- SHOULD HIDDEN FIELD CONDITIONS REQUIRE MODIFICATIONS TO THE LAYOUT, THE CONTRACTOR SHALL COORDINATE WITH THE CONSTRUCTION MANAGER OR ARCHITECT.
- STRIP EXIST. FLOORS THAT ARE TO RECEIVE FLOOR FINISHES. FOLLOW MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION OF FINISH MATERIALS ON EXIST. SUBSTRATES.
- AFTER DEMOLITION IS COMPLETE PATCH AND REPAIR EXIST. SURFACES TO REMAIN, AS REQUIRED FOR NEW FINISHES.

DEMOLITION SCOPE:

- REMOVE XTG BUILT-IN EQUIPMENT AND STAINLESS STEEL COUNTERS.
- REMOVE XTG QUARRY TILE IN ENTIRE SERVING AREA.
- REMOVE XTG CONCRETE CURBS LOCATED BELOW EQUIPMENT. GRIND DOWN TO BE FLUSH WITH SURROUNDING SUBFLOOR.
- REMOVE XTG OVERHEAD COUNTER DOOR AND CEILINGS AND WALLS FOR NEW OVERHEAD DOORS.
- DEMO XTG KNEE WALL LOCATED BEHIND EQUIPMENT / COUNTER.
- DEMO XTG COOLER COMPRESSOR IN THE BOILER ROOM, REFER TO ELEC. DWGS.



COLOR LEGEND
 [Hatched Box] AREA OF WORK
 [White Box] N.I.C.

KITCHEN FLOOR PLAN - DEMO
SCALE: 1/2" = 1'-0"

KITCHEN SERVING COUNTER ALTERATIONS & RELATED WORK

AT **RAISINVILLE ELEMENTARY SCHOOL**
2300 NORTH RAINVILLE ROAD, MONROE, MICHIGAN 48162
FOR **MONROE PUBLIC SCHOOLS**
1275 NORTH MACOMB STREET, MONROE, MICHIGAN 48162

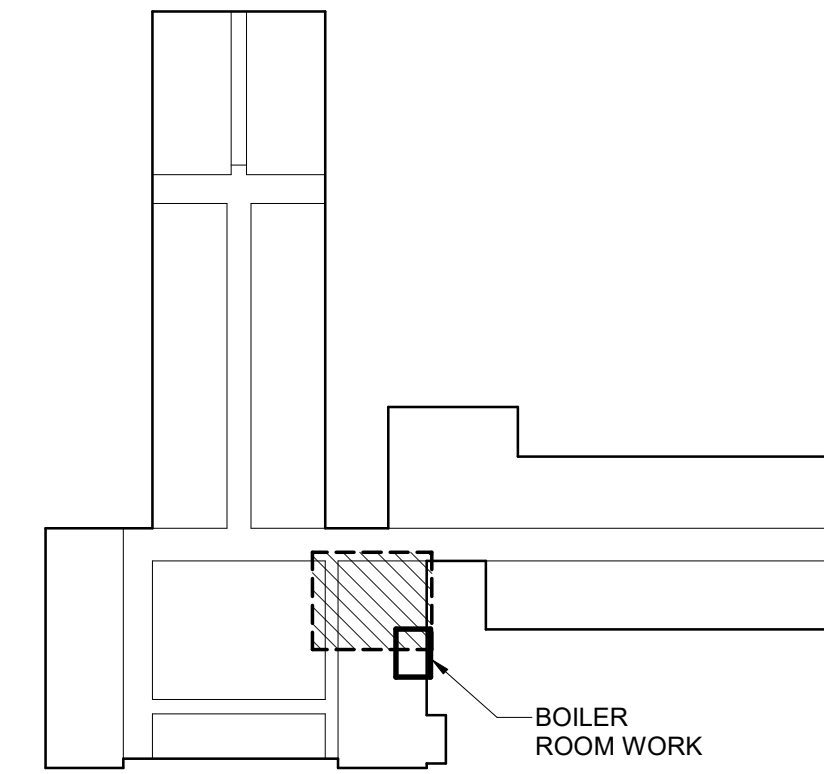
JOB # **24102**

KITCHEN DEMOLITION FLOOR PLAN

A1.00



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KEY PLAN
SCALE: 1" = 80'-0"

GENERAL DEMOLITION NOTES:

- COORDINATE ALL DEMOLITION WITH THE OWNER'S HAZARDOUS MATERIAL ABATEMENT DOCUMENTS AND SCOPE.
- DEMOLITION CONTRACTOR TO PROTECT ALL AREAS ADJACENT TO CONSTRUCTION AND COMMON POINTS OF TRAVEL TO AND FROM CONSTRUCTION AREAS. PROTECTION IN THESE AREAS TO INCLUDE AIR QUALITY, WALK SURFACES, EQUIPMENT, FURNISHINGS, BUILDING OCCUPANTS, ETC. FROM DUST / DEBRIS, EXCESSIVE NOISE, WEAR, OR DAMAGE OF ANY KIND. PRIOR TO ANY PHYSICAL WORK, THE CONTRACTOR MUST HAVE A WRITTEN PLAN FOR PROTECTION APPROVED BY THE ARCHITECT.

AREA OF HIGH REPLACEMENT VALUE OR MORE LIKELY FOR DAMAGE ARE TO HAVE ADDED PROTECTION (I.E. GYM FLOORS, ROOFING, ETC.)
- ANY WORK UNDER THE CONTRACT THAT WILL INTERRUPT THE OWNER'S ACTIVITIES SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- ALL DEMOLITION WORK REQUIRED IS NOT LIMITED TO THAT INDICATED ON PLAN. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
- PRIOR TO COMMENCEMENT OF DEMOLITION WORK, CONTRACTOR IS TO INSPECT ALL AREAS IN WHICH WORK WILL BE PERFORMED. DOCUMENT EXISTING CONDITIONS OF STRUCTURE, SURFACES, EQUIPMENT OR SURROUNDING AREAS WHICH COULD BE MISCONSTRUED AS DAMAGE RESULTING FROM DEMOLITION WORK AND FILE WITH CONSTRUCTION MANAGER OR ARCHITECT.
- NOTIFY ARCHITECT IF ANY EXISTING ITEM THAT CONFLICTS WITH THE INTENDED FINAL PRODUCT IS NOT SPECIFICALLY CALLED OUT. DEMOLITION CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS & FIELD CONDITIONS BEFORE PROCEEDING WITH DEMOLITION AND / OR CONSTRUCTION.
- ALL DEMOLITION WORK, UNLESS OTHERWISE NOTED IN THE PROJECT MANUAL, DRAWINGS OR DIRECTED BY OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. ALL DEBRIS CAUSED BY DEMOLITION AND CONSTRUCTION SHALL BE CLEARED AND REMOVED FROM THE SITE. DEBRIS STORAGE SHALL NOT INFRINGE ON CLEAR PATH OF EGRESS.
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
- PROTECT EXISTING STRUCTURES, FINISHES, UTILITIES AND OTHER ITEMS SCHEDULED TO REMAIN. AREAS THAT ARE DAMAGED BY SELECTIVE DEMOLITION SHALL BE PATCHED AND REPAIRED AND FINISHED OR REPLACED TO MATCH EXISTING ADJACENT SURFACES.
- CONTRACTOR TO COORDINATE A WALK THROUGH WITH THE CONSTRUCTION MANAGER AND OWNER PRIOR TO EACH PHASE OF DEMOLITION TO IDENTIFY ALL REMAINING / ITEMS TO BE SALVAGED.
- FOR ANY ITEMS TO BE SALVAGED BY CONTRACTOR, PROVIDE A DETAILED INVENTORY LIST OF ALL SALVAGED ITEMS AND THEIR STORED LOCATIONS ON SITE.
- SHOULD HIDDEN FIELD CONDITIONS REQUIRE MODIFICATIONS TO THE LAYOUT, THE CONTRACTOR SHALL COORDINATE WITH THE CONSTRUCTION MANAGER OR ARCHITECT.
- STRIP EXIST. FLOORS THAT ARE TO RECEIVE FLOOR FINISHES. FOLLOW MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION OF FINISH MATERIALS ON EXIST. SUBSTRATES.
- AFTER DEMOLITION IS COMPLETE PATCH AND REPAIR EXIST. SURFACES TO REMAIN, AS REQUIRED FOR NEW FINISHES.

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KITCHEN SERVING COUNTER ALTERATIONS & RELATED WORK

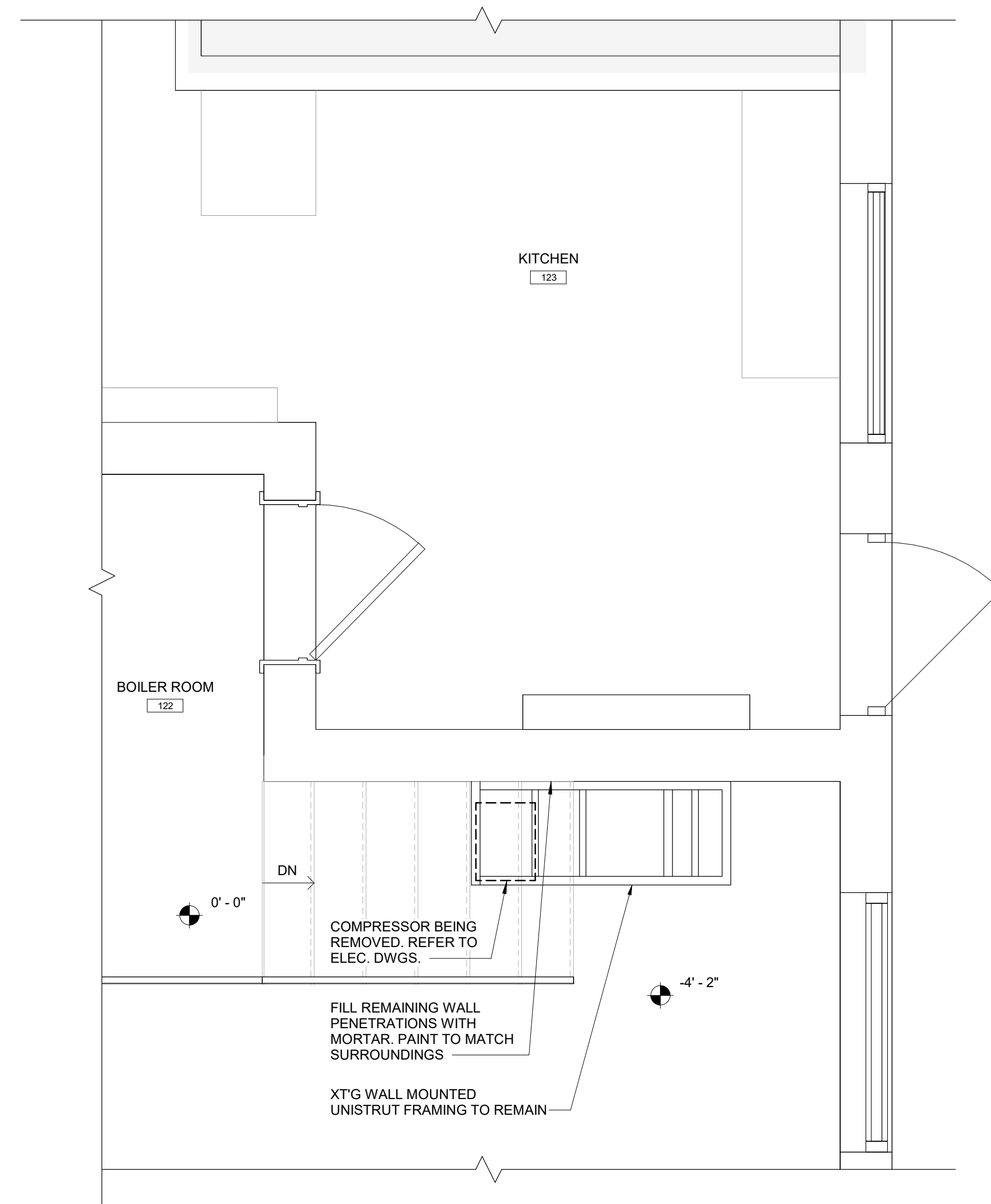
AT
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JOB # **24102**

**BOILER ROOM
DEMOLITION FLOOR
PLAN**

A1.01



BOILER ROOM FLOOR PLAN - DEMO
SCALE: 1/2" = 1'-0"

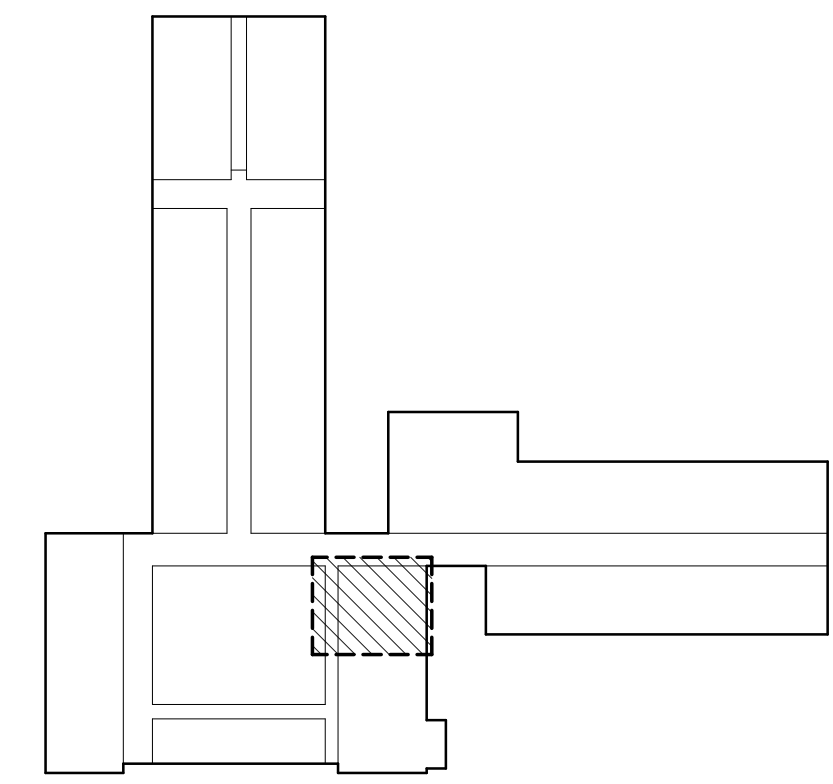
DEMOLITION SCOPE:

- REMOVE XTG BUILT-IN EQUIPMENT AND STAINLESS STEEL COUNTERS.
- REMOVE XTG QUARRY TILE IN ENTIRE SERVING AREA.
- REMOVE XTG CONCRETE CURBS LOCATED BELOW EQUIPMENT. GRIND DOWN TO BE FLUSH WITH SURROUNDING SUBFLOOR.
- REMOVE XTG OVERHEAD COUNTER DOOR AND CEILINGS AND WALLS FOR NEW OVERHEAD DOORS.
- DEMO XTG KNEE WALL LOCATED BEHIND EQUIPMENT / COUNTER.
- DEMO XTG COOLER COMPRESSOR IN THE BOILER ROOM, REFER TO ELEC. DWGS.



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KEY PLAN
SCALE: 1" = 80'-0"

EQUIPMENT SCHEDULE			
#	ITEM	DIMENSIONS	NOTES
1	STEAM TABLE	32-5/8"D x 62-7/16"W x 34-3/8"H	EXISTING TO REMAIN
2	COMPACT UNDERCOUNTER REFRIGERATOR (UHT48)	32" D x 48"H x 33-5/8"H	OWNER OWNED EQUIPMENT
3	BUFFET HOT FOOR TABLE (B2-120-B-S)	22-5/8"D x 32"W x 34-3/8"H	NEW OWNER SUPPLIED EQUIPMENT

DOOR SCHEDULE						
#	SIZE	MAT'L	MODEL	FRAME TYPE	FIRE RATING	MANUFACTURER
OH A	5'-5" x 5'-5"	SS	641	BTW JAMB MOUNT	90 min.	
OH B	9'-10" x 5'-5"	SS	641	BTW JAMB MOUNT	90 min.	

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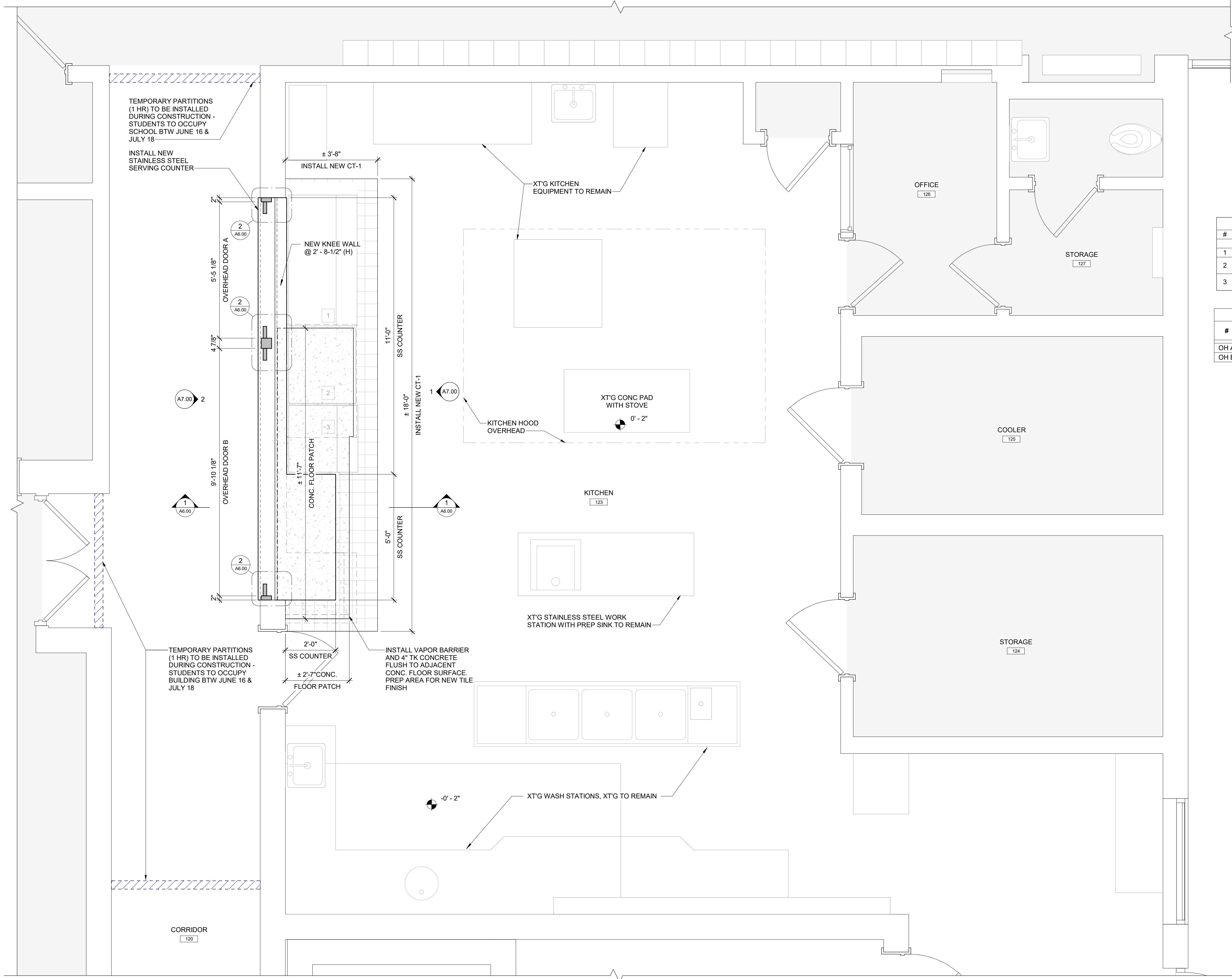
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JOB # **24102**

KITCHEN
CONSTRUCTION
FLOOR PLAN &
NOTES

A2.00



COLOR LEGEND
□ AREA OF WORK
□ N.I.C.

KITCHEN FLOOR PLAN - NEW
SCALE: 1/2" = 1'-0"

CONSTRUCTION SCOPE:

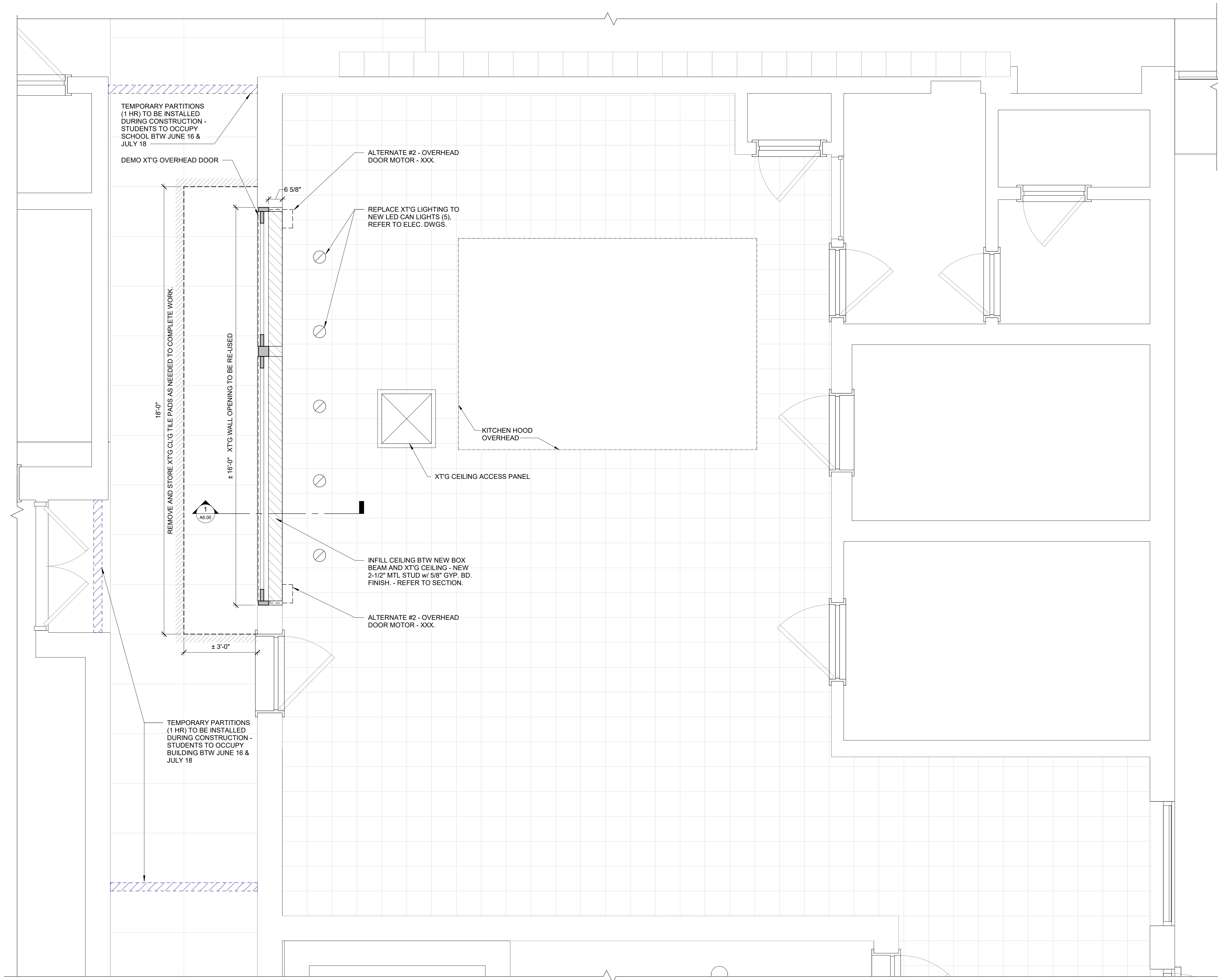
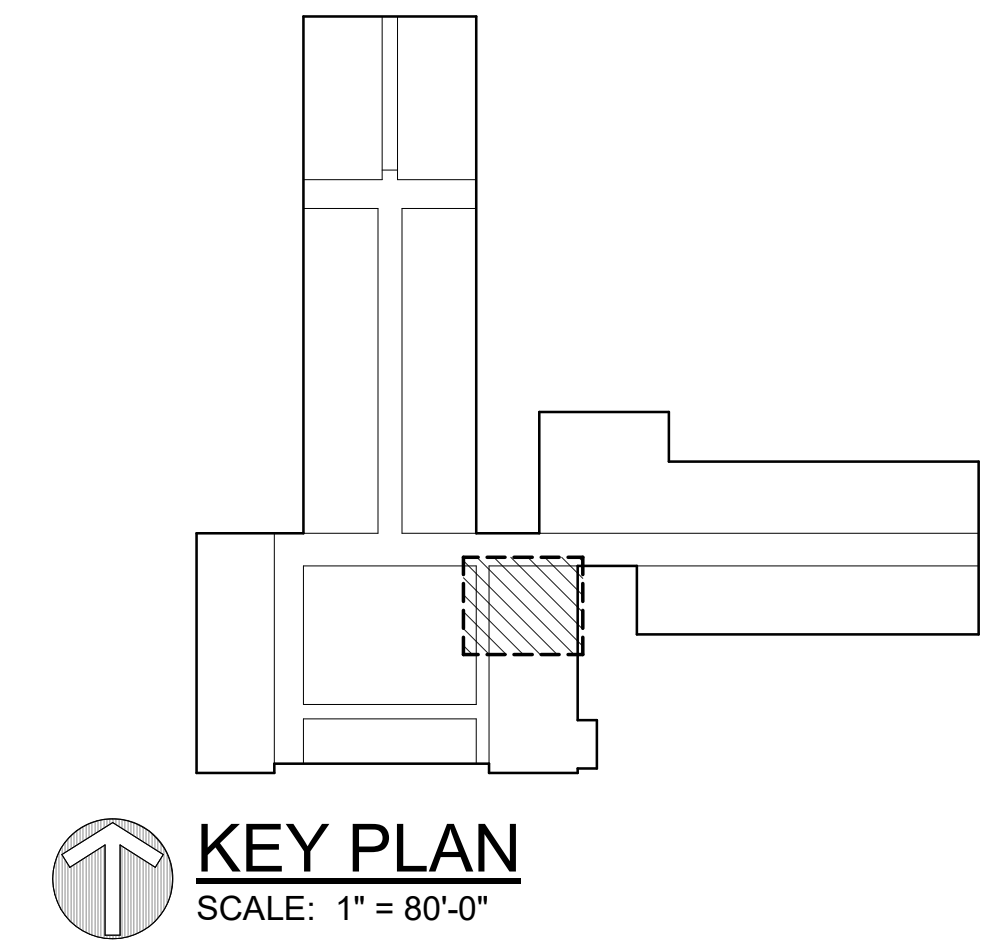
- FINISH / LEVEL CONCRETE WHERE CURBS HAVE BEEN REMOVED.
- INSTALL NEW KNEE WALL TO BE LOCATED BEHIND KITCHEN EQUIPMENT - THIS WALL WILL CONTAIN ALL REQUIRED ELECTRICAL FOR THE EQUIPMENT.
- INSTALL TWO NEW FIRE RATED OVERHEAD COUNTER DOORS AT SERVING COUNTER. (FURTHER DESIGN INVESTIGATION OF DOORS IS REQUIRED)
- INSTALL NEW QUARRY TILE AT SERVING AREA.
- INSTALL NEW STAINLESS STEEL COUNTER TOP BETWEEN KITCHEN AND SERVING COUNTER IN CORRIDOR.
- PER ELEC. DWGS, COOLER COMPRESSOR LOCATED IN THE BOILER ROOM.
- PATCH / PAINT WALLS AS REQUIRED.

3/15/2024 8:14:00 AM Autodesk Docs (MPS - Raisinville - 24102 - Kitchen Counter Alterations)04102-24102-Kitchen Updates-2024.rvt



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- CEILING SCOPE:**
- XT'G CEILING FINISHES TO REMAIN.
 - REMOVE XT'G LIGHT FIXTURES ABOVE THE SERVING COUNTER.
 - INSTALL NEW CAN LIGHTING IN-PLACE OF REMOVED LIGHT FIXTURES. REFER TO ELEC. DWGS.
 - DEMO XT'G 16\"/>

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JOB # **24102**

KITCHEN REFLECTED CEILING PLAN

A3.00

KITCHEN FIRST FLOOR - RCP
SCALE: 1/2" = 1'-0"

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MATERIAL STRENGTHS AND STRUCTURAL NOTES

MISCELLANEOUS

- DISCREPANCIES BETWEEN ARCHITECTURAL AND STRUCTURAL PLANS SHALL BE BROUGHT TO ATTENTION OF ARCHITECT. ARCHITECTURAL PLANS SHALL GOVERN UNLESS STRENGTH OF STRUCTURE IS ADVERSELY AFFECTED. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, INTERFERENCES AND CONDITIONS PRIOR TO STARTING FABRICATION OR CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER.
- DO NOT BACK FILL AGAINST BASEMENT WALLS UNTIL FLOOR SLABS/DECKS HAVE BEEN CONSTRUCTED. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES PROVIDING TEMPORARY SHORING, BRACING, OR TIE DOWNS. THESE TEMPORARY SUPPORTS WILL REMAIN IN PLACE UNTIL ALL STRUCTURAL COMPONENTS HAVE BEEN COMPLETELY ERECTED.
- SOIL BEARING CAPACITIES USED FOR STRUCTURAL DESIGN:
STRIP FOOTINGS: 2,000 PSF
COLUMN FOOTINGS: 2,000 PSF
A SOIL ENGINEER SHALL VERIFY BEARING CAPACITY OF SOIL AT BOTTOM OF EXCAVATIONS BEFORE CONSTRUCTING FOOTINGS. IF THIS BEARING CAPACITY IS NOT FOUND, FOOTINGS SHALL BE LARGER OR LOWERED AT THE DIRECTION OF THE ARCHITECT.
- STRUCTURAL DESIGN LOAD DATA
FLOOR LOAD
COMMERCIAL: CONCRETE - 100 PSF. L.L. + 40 PSF. D.L.
WOOD - 100 PSF. L.L. + 25 PSF. D.L.
RESIDENTIAL: 40 PSF. L.L. + 20 PSF. D.L.

ROOF LOAD

- DEFLECTION = L/480
- ROOF/SNOW LOAD:
GROUND SNOW LOAD: PG = 25 PSF. L.L.
FLAT ROOF SNOW LOAD: PF = 30 PSF. L.L.
ROOF DEAD LOAD: 15 PSF.
SNOW EXPOSURE FACTOR: CE = 0.7
SNOW LOAD IMPORTANCE FACTOR: I = 1.0
- WIND LOAD
BASIC WIND SPEED: 115 MPH
WIND LOAD IMPORTANCE FACTOR: I = 1.0
WIND EXPOSURE: B

- SEISMIC IMPORTANCE: I = 1.0
- ROOFING SHALL BE MINIMUM 15# FELT WITH MINIMUM 25#/SQ. CLASS 'A' SHINGLES AND GALVANIZED NAILS. ALL EAVES TO HAVE ICE-GUARD BARRIER FROM EAVE TO MINIMUM 2 FEET INSIDE WARM/INTERIOR SIDE OF WALL MEASURED HORIZONTALLY.
- SUBMIT (4) SETS (OR 1 SET ELECTRONIC) OF THE FOLLOWING SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION: CONCRETE REINFORCEMENT, MASONRY LINTELS, STRUCTURAL STEEL, METAL DECK, WATER STOPS, STRUCTURAL / ENGINEERED WOOD COMPONENTS, ANCHORS. CONTRACTOR SHALL CHECK SHOP DRAWINGS PRIOR TO SUBMITTAL AND IS SOLELY RESPONSIBLE IN PREPARATION OF SHOP DRAWINGS TO CONFORM TO DESIGN DRAWINGS.

CONCRETE

- CONFORM TO LATEST EDITION OF FOLLOWING STANDARDS:
STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE, ACI 301.
COLD WEATHER CONCRETING, ACI 308R.
HOT WEATHER CONCRETING, ACI 305R.
DETAILS AND DETAILING OF CONCRETE REINFORCEMENT, ACI 315.
GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION, ACI 302.1R.
PLACING REINFORCING BARS, CRSI.
- CONCRETE COMPRESSIVE STRENGTH, UNLESS INDICATED:
GENERAL USE: 3,000 PSI
SLAB-ON-GRADE: 3,500 PSI
COLUMNS: 4,000 PSI
CONCRETE EXPOSED TO WEATHER SHALL HAVE 4% - 6% AIR ENTRAINED.
- REINFORCEMENT
BARS: ASTM A615, GRADE 60.
WELDED WIRE FABRIC (WWF): ASTM A185.
- LAP REINFORCING BARS AS SHOWN, BUT NOT LESS THAN 36 BAR DIAMETERS. PROVIDE CORNER BARS EQUIVALENT IN SIZE AND NUMBER TO HORIZONTAL BARS AT CORNERS OF WALLS AND WALL FOOTINGS AND LAP REINFORCEMENT. LAP WELDED WIRE FABRIC MINIMUM OF ONE WIRE SPACING PLUS 2".
- PROVIDE DOWELS IN COLUMN AND WALL FOOTINGS EQUIVALENT IN SIZE AND NUMBER TO VERTICAL BARS IN WALLS. EXTEND DOWELS 24 BAR DIAMETERS INTO FOOTING AND 24 BAR DIAMETERS INTO WALL OR COLUMN.
- PROVIDE REINFORCEMENT IN TOP OF INTERIOR WALL FOOTINGS CENTERED UNDER DOOR AND OTHER OPENINGS EQUIVALENT IN SIZE AND NUMBER TO BOTTOM REINFORCEMENT AND 4 FEET LONGER THAN OPENING.
- MINIMUM REINFORCEMENT UNLESS NOTED OTHERWISE:
WALLS 8" OR LESS THICKNESS: #5 @ 12" EACH WAY CENTERED IN WALL.
WALLS THICKER THAN 8": #5 @ 12" EACH WAY IN EACH FACE.
SLABS ON GRADE OR SLABS ON JOIST: 6"X6" - W2.1 X W2.1 W.W.F. UNLESS OTHERWISE NOTED
- CLEAR CONCRETE COVER ON REINFORCEMENT UNLESS NOTED:
CONCRETE DEPOSITED AGAINST GROUND: 3"
FORMED SURFACES EXPOSED TO WEATHER OR EARTH: 1-1/2" FOR #5 & SMALLER
2" FOR #6 BARS & LARGER
- ALL OTHER SURFACES:
SLABS, WALLS AND JOISTS: 3/4"
BEAMS, GIRDERS & COLUMNS: 1-1/2"
- CHAMFER EXPOSED EDGES 3/4" X 45 DEGREES
- FOOTINGS SHALL BE ON UNDISTURBED VIRGIN SOIL. FILL EXCESS CUTS WITH CONCRETE. MINIMUM FOOTING DEPTH TO BE 42" BELOW GRADE UNLESS NOTED OTHERWISE.
- EXTERIOR SIDE OF CONCRETE BELOW GRADE SHALL BE COATED WITH ASPHALTIC DAMP PROOFING
- PROVIDE ENTRY SLAB DECKING, DEPTH PER DRAWINGS X 0.058 IN. THICK, FY = 33 KSI, G90 GALVANIZED.
- PROVIDE "WATERSTOP RX" OR APPROVED EQUAL WATERSTOPS AT ALL BELOW GRADE JOINT LOCATIONS.

WOOD

- ALL WOOD MATERIALS INCLUDING FRAMING SHALL BE SIZED, BRACED, ANCHORED, ASSEMBLED, ETC. IN ACCORDANCE WITH THE REQUIREMENTS OF THE MICHIGAN BUILDING CODE. RAFTER/JOISTS SHALL BE 1000 PSI BENDING, KILN DRIED, #2 GRADE OR BETTER. STUDS SHALL BE STUD GRADE. ALL PLATES ON CONCRETE OR WITHIN 8" OF EXTERIOR GRADE SHALL BE TREATED. ALL WOOD EXPOSED TO EXTERIOR ELEMENTS SHALL BE TREATED UNLESS NOTED OTHERWISE.
- TRUSSES SHALL BE PRE-ENGINEERED WITH LOAD AND BRACING DIAGRAMS SUBMITTED TO THE GOVERNING BUILDING AUTHORITY FOR PERMITS, SEALED BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN. DESIGN LOADS SHALL BE AS STATED ELSEWHERE WITH 10 PSF ON BOTTOM CHORD UNLESS NOTED OTHERWISE. DEFLECTION SHALL BE MAXIMUM OF 1/360 OF CLEAR SPAN.
- ROOF SHEATHING SHALL BE 5/8" THICK SQUARE EDGE CDX PLYWOOD OR 5/8" OSB BOARD (ORIENTED STRAND BOARD). EXTERIOR WALL SHEATHING TO BE EITHER 1/2" CDX PLYWOOD OR 7/16" OSB BOARD (ORIENTED STRAND BOARD) WITH SQUARE EDGE. ATTIC WALKWAYS TO BE 3/4" CDX GRADE 4 PLY. PROVIDE AND INSTALL GALVANIZED PLYWOOD CLIPS ON ALL ROOF SHEATHING EVEN IF NOT REQUIRED BY CODE WHEN FRAMING MEMBERS ARE 24" O.C.
- ANCHORS FOR FRAMING SHALL BE PER MICHIGAN BUILDING CODE REQUIREMENTS FOR PARTICULAR APPLICATION, AS WELL AS RECOMMENDED BY THE LUMBER MANUFACTURER AND AMERICAN WOOD ASSOCIATION. SCREWS FOR INTERIOR WOOD SUB-FLOORING SHALL BE TEMPERED PHILLIPS HEAD, SELF-TAPPING DECK SCREWS - BLUED FINISH. ALL METAL SUPPORTS/FASTENERS AND ANCHORS, INCLUDING TRUSSES AND FASTENERS THAT COME IN CONTACT WITH THE TREATED WOOD SHALL BE CORROSION RESISTANT SUCH AS STAINLESS STEEL, EPOXY COATED STEEL AND AS APPROVED BY THE TREATED WOOD MANUFACTURER. MANUFACTURERS FOR HANGERS, BRACKETS, CLIPS, ETC. SHALL BE SIMPSON, KANT-SAG OR APPROVED EQUAL. THE FOLLOWING MODEL NUMBERS REFER TO SIMPSON:
TRUSSES/RAFTERS TO WALL = AS DIRECTED BY TRUSS MFR. - OR - H2.5T, 18 GA.
COLUMN TO FOOTING = EMBED IN CONCRETE #8@8" - 12" - HDG. SET 1/2" ABOVE CONCRETE.
JOISTS TO BEAM PLATE = TWISTED STRAP ANCHOR #H 2.5A - 18 GA.
JOIST TOP FLANGE HANGER = AS DIRECTED BY JOIST MFR. - OR - #15 X SIZE OF JOIST, 18 GA.
POST CAP = #8C3
CORNER POST CAP = LCE4
- EXTERIOR ANCHORS - BOLTS AND SCREWS FOR ANCHORING TREATED FRAMING TO POSTS SHALL BE STAINLESS OR EPOXY COATED STEEL 1/2" DIAMETER MINIMUM THRU BOLTS AND NUTS WITH WASHERS BOTH SIDES. PRE-DRILL MEMBERS AS REQUIRED, TO ELIMINATE SPLITTING OF WOOD.
- ENGINEERED WOOD STRUCTURAL COMPONENTS SHALL BE AS ENGINEERED AND MANUFACTURED BY THE SAME COMPANY THROUGHOUT PROJECT AND MEET OR EXCEED ALL APPLICABLE CODE REQUIREMENTS AND DESIGN LOADS/CONDITIONS AS HEREIN SPECIFIED. FLOOR AND CEILING JOISTS TO BE AS MANUFACTURED BY TRUS-JOIST MACMILLAN, REBUILT, NODRILL JOISTS, OR APPROVED EQUAL AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS. FINAL MEMBER DESIGN AS PROVIDED BY MFR. / STRUCTURAL DESIGNER FOR REVIEW. TYPICAL OF ALL L.V.L. MEMBERS. E + 2.0 MINIMUM OF TWO BOLTS PER BOARD WIDTH PER POST, DECKING, RAILINGS, PICKETS AND ALL OTHER MEMBERS SHALL BE ANCHORED WITH APPROVED STAINLESS OR EPOXY COATED STEEL DECK SCREWS - MINIMUM OF (2) SCREWS PER BOARD WIDTH PER JOIST. SCREWS SHALL PENETRATE INTO SUBSTRATE MINIMUM OF 1" TO 1-1/4" DEPT.

STRUCTURAL STEEL

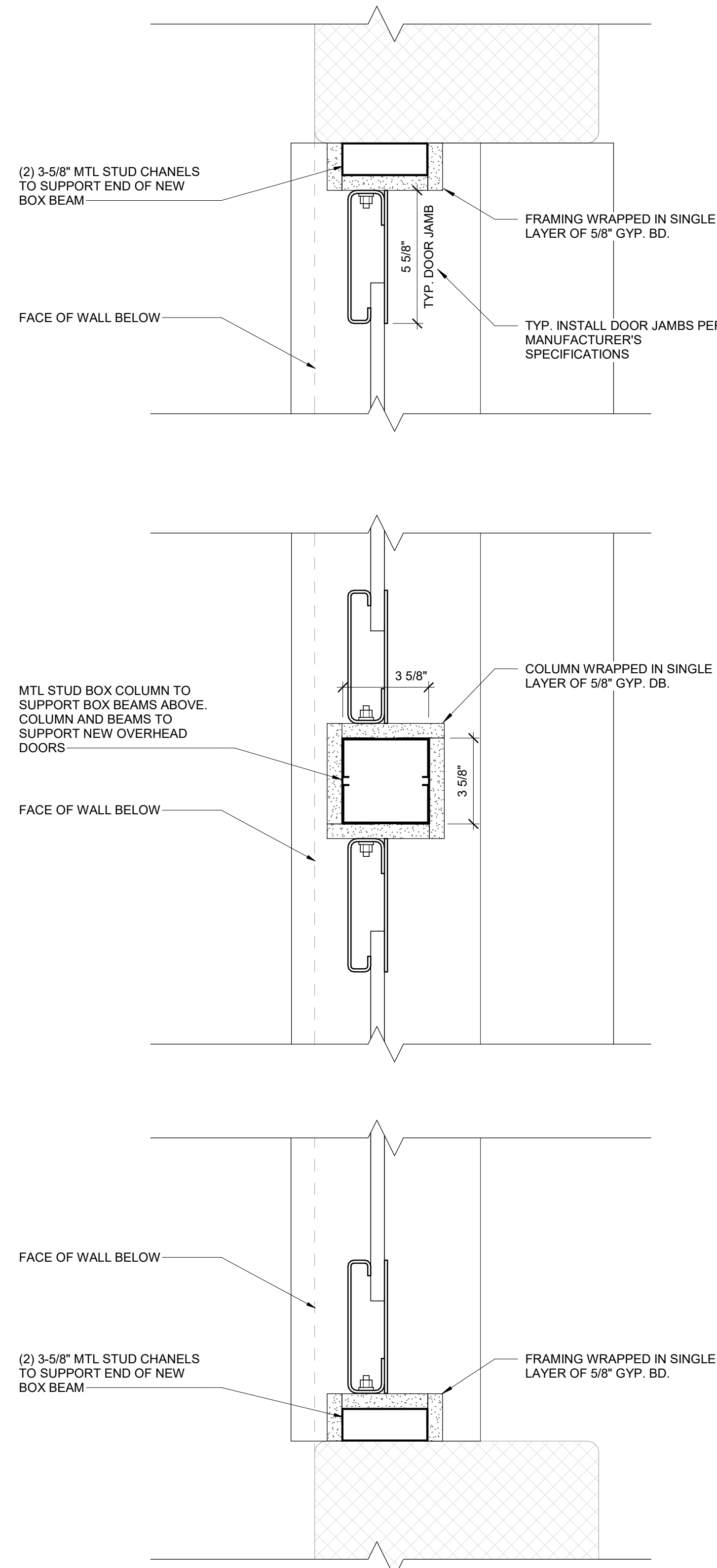
- CONFORM TO LATEST EDITION OF FOLLOWING STANDARDS:
SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN, AISC.
SPECIFICATION FOR ALLOWABLE STRESS DESIGN OF SINGLE-ANGLE MEMBERS, AISC.
SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS, RCSC - CODE OF STANDARD PRACTICE, AISC.
- STRUCTURAL STEEL MATERIALS:
WIDE FLANGE SHAPES: ASTM A992
ANGLES, CHANNELS, PLATES AND BARS: ASTM A36
STRUCTURAL TUBING: ASTM A500, GRADE B
STRUCTURAL PIPE: ASTM A53, GRADE B, TYPE E OR S
HIGH STRENGTH BOLTS: ASTM A325
ANCHOR BOLTS: ASTM A307 OR A36
- STEEL FABRICATOR TO DESIGN BEAM CONNECTIONS FOR REACTIONS INDICATED, OR WHERE REACTIONS ARE NOT INDICATED, FOR ONE-HALF OF TOTAL UNIFORM LOAD CAPACITY OF A SIMPLE BEAM FOR GIVEN SPAN AS SPECIFIED IN LATEST EDITION OF AISC MANUAL OF STEEL CONSTRUCTION. DESIGN CONNECTIONS OF BRACING MEMBERS FOR MEMBER FORCES INDICATED, OR WHERE MEMBER FORCES ARE NOT INDICATED, FOR THE FULL TENSILE AND COMPRESSIVE CAPACITIES OF THE BRACING MEMBER.
- FRAME BEAMS INTO SIDE OF COLUMNS, UNLESS NOTED OTHERWISE.
- MAKE BOLTED FIELD CONNECTIONS WITH HIGH STRENGTH BOLTS, UNLESS NOTED OTHERWISE. MAKE SHOP CONNECTIONS BY WELDING OR HIGH STRENGTH BOLTING.
- UNLESS INDICATED, CLEAN STRUCTURAL STEEL IN ACCORDANCE WITH SSPC SP-1 AND SHOP PRIME. PRIMER SHALL BE COMPATIBLE WITH SPECIFIED FINISHES. DO NOT PRIME TOP FLANGE SURFACE OF COMPOSITE BEAMS OR SURFACES, WHICH RECEIVE SPRAY-ON FIREPROOFING.
- GALVANIZING SHALL CONFORM TO ASTM A123. GALVANIZING OF BOLTS, NUTS, AND OTHER HARDWARE SHALL CONFORM TO ASTM A153.

LINTEL SCHEDULE			
MASONRY OPENING	STRUCTURAL STEEL MEMBER	BLOCK CORE REINFORCING	BEARING EACH END
UP TO 4'-0"	1-L 3-1/2"x3-1/2"x5/16"	1-#5	4"
4'-0" TO 6'-0"	1-L 5X3-1/2"x5/16" LLV	1-#5	6"
6'-0" TO 8'-0"	1-L 6X3-1/2" X 3/8" LLV	1-#6	8"

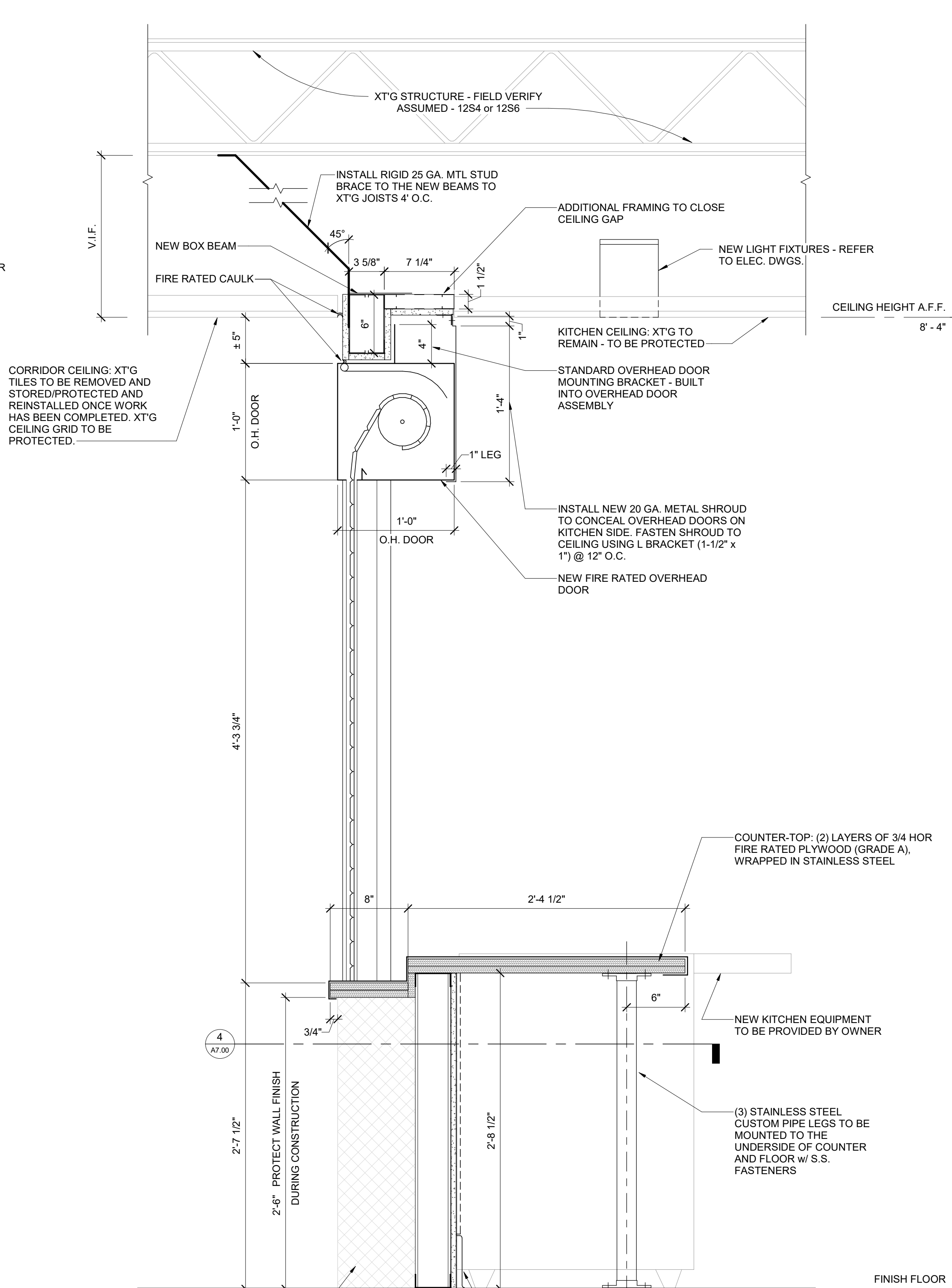
- A) UNLESS OTHERWISE NOTED PROVIDE LINTELS OVER ALL OPENINGS IN MASONRY WALLS ACCORDING TO THIS SCHEDULE
B) LINTELS/REINFORCING ARE SCHEDULED FOR EACH 4" OF WALL THICKNESS.

NOTES:

- PRELIMINARY BEAMS AND COLUMNS DESIGNED - FINAL DESIGN FROM CONTRACTOR W/ SHOP DRAWING REVIEW
- OVERHEAD DOOR WEIGHT
 - DOOR @ BEAM A = 430 LBS
 - DOOR @ BEAM B = 660 LBS
 - NO XTG STRUCTURE OR FRAMING ABOVE THE OPENING - EXISTING SUPPORTS FOR EXISTING OVERHEAD DOOR WILL NEED TO BE REMOVED AS THEY ARE FAILING.
 - BOX HEADERS & BEAMS TO SUPPORT OVERHEAD DOORS WILL NEED TO BE FABRICATED OUT OF MTL STUDS / CHANNELS - DESIGN TO BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.



2 OVERHEAD DOOR COLUMN - DETAIL
SCALE: 3" = 1'-0"



1 OVERHEAD DOOR SECTION
SCALE: 1 1/2" = 1'-0"



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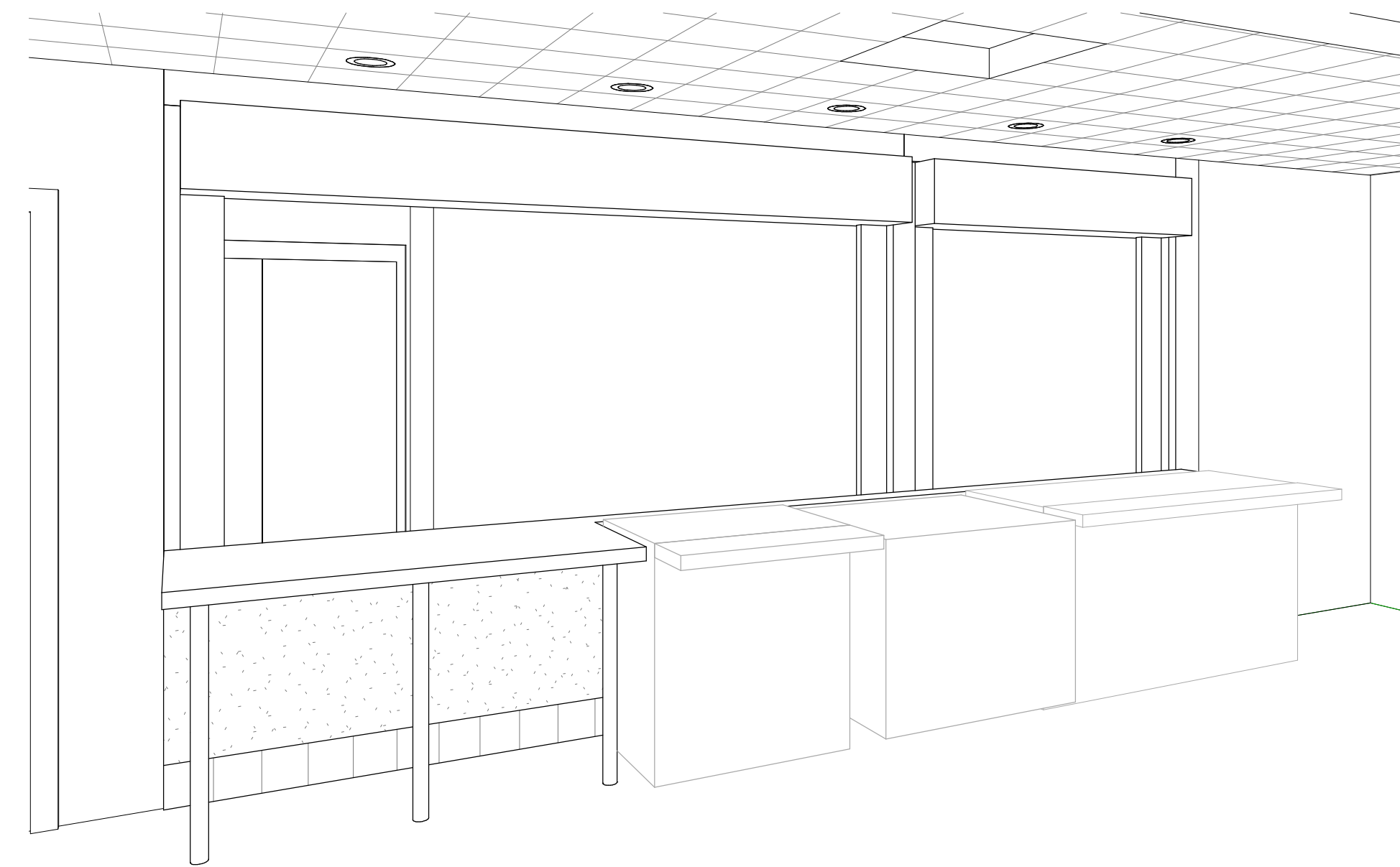
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WALL SECTIONS

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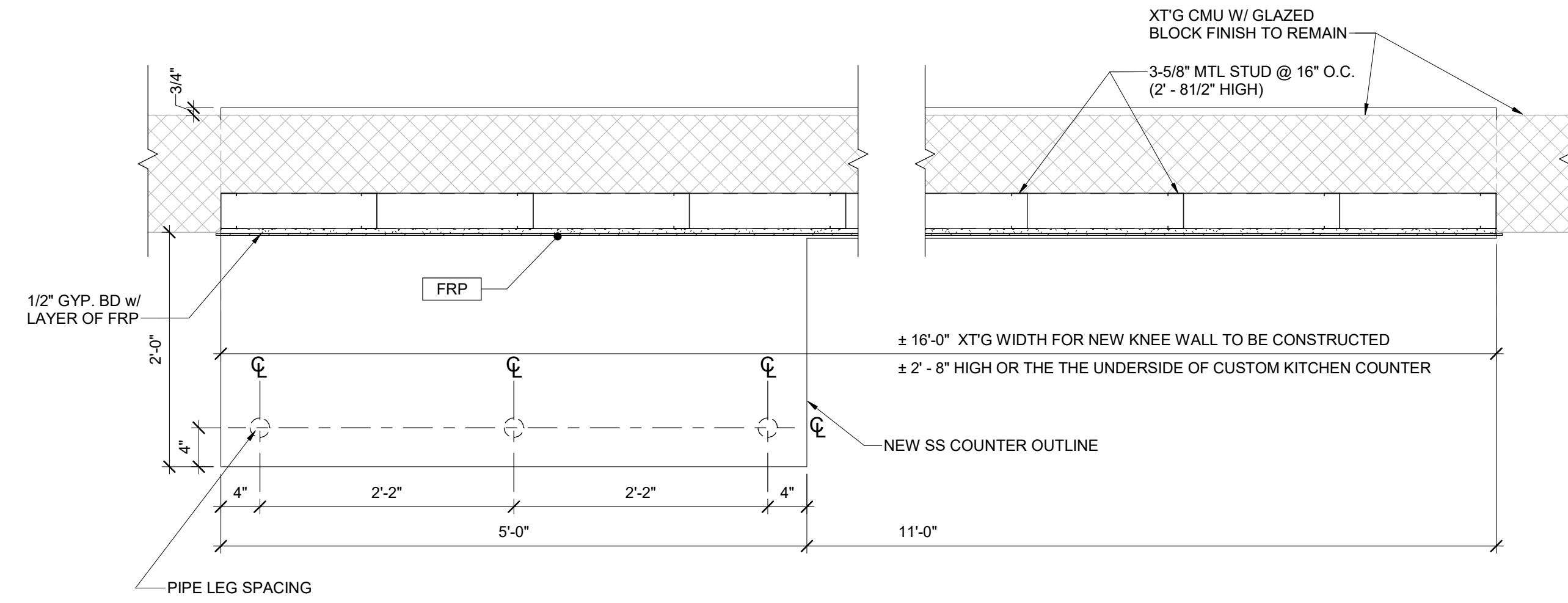
MATERIAL FINISH SCHEDULE							
MATERIAL	TAG	MANUFACTURER	STYLE	COLOR	MODEL NO.	SIZE	COMMENTS
ACOUSTICAL CEILING TILE	ACT	USG	RADAR EDUCATION ACOUSTICAL PANELS	WHITE	#2207	2' x 4'	*CLASS A* - UL RATED 1HR *ORDER MATERIAL AS NEEDED
CERAMIC TILE	CT-1	CROSSVILLE	MAIN STREET	BISTRO BROWN	AV213	6" x 6"	FLOOR TILE
		TEC	-	-	-	-	GROUT COLOR - MATCH XTG
	CT-2	CROSSVILLE	MAIN STREET	BISTRO BROWN	AV213	6" x 12" COVE BASE	WALL BASE
		TEC	-	-	-	-	GROUT COLOR - MACTH XTG
PAINT	PT	SHERWIN WILLIAMS	EGG SHELL	NAVAJO WHITE	7689	-	
FIBERGLASS REINFORCED PLASTIC	FRP	-	-	BEIGE	-	-	

NOTE: THIS SCHEDULE PROVIDES ALL NEW MATERIALS / FINISHES FOR BASES OF DESIGN. REFER TO SPECIFICATIONS TO ADDITIONAL INFORMATION.

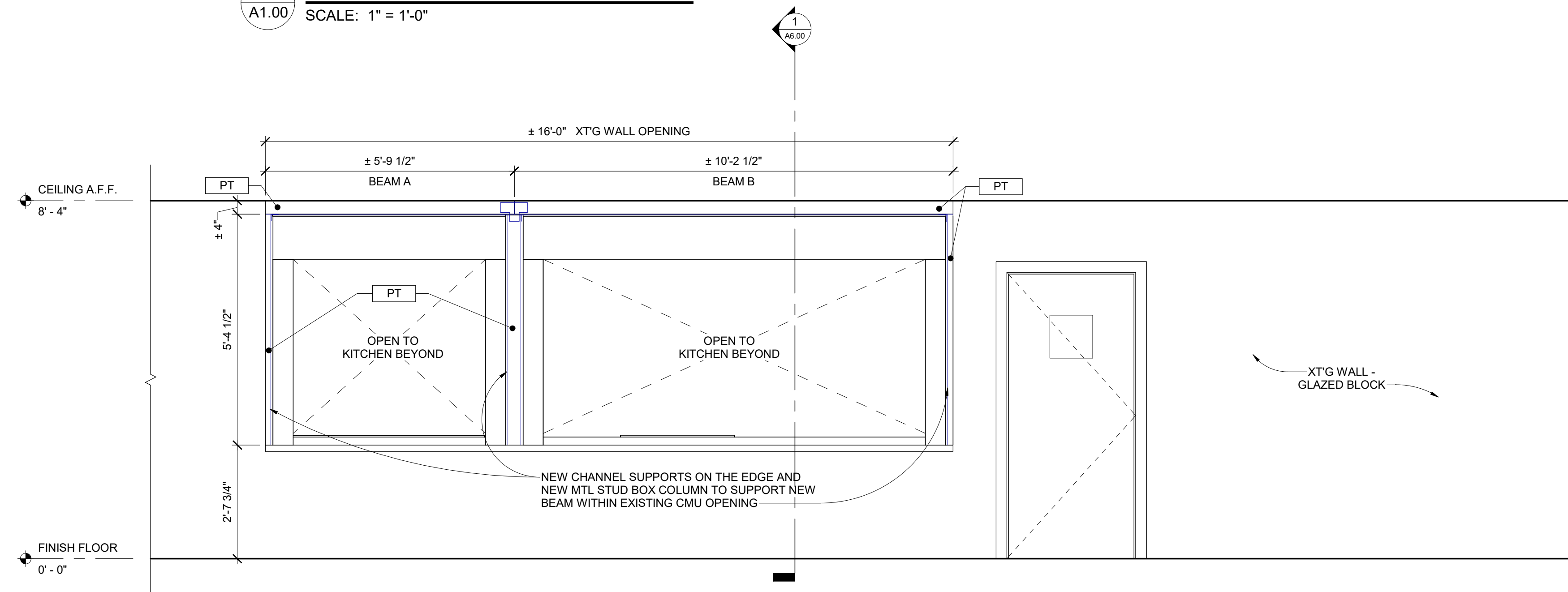


KITCHEN PERSPECTIVE
SCALE:

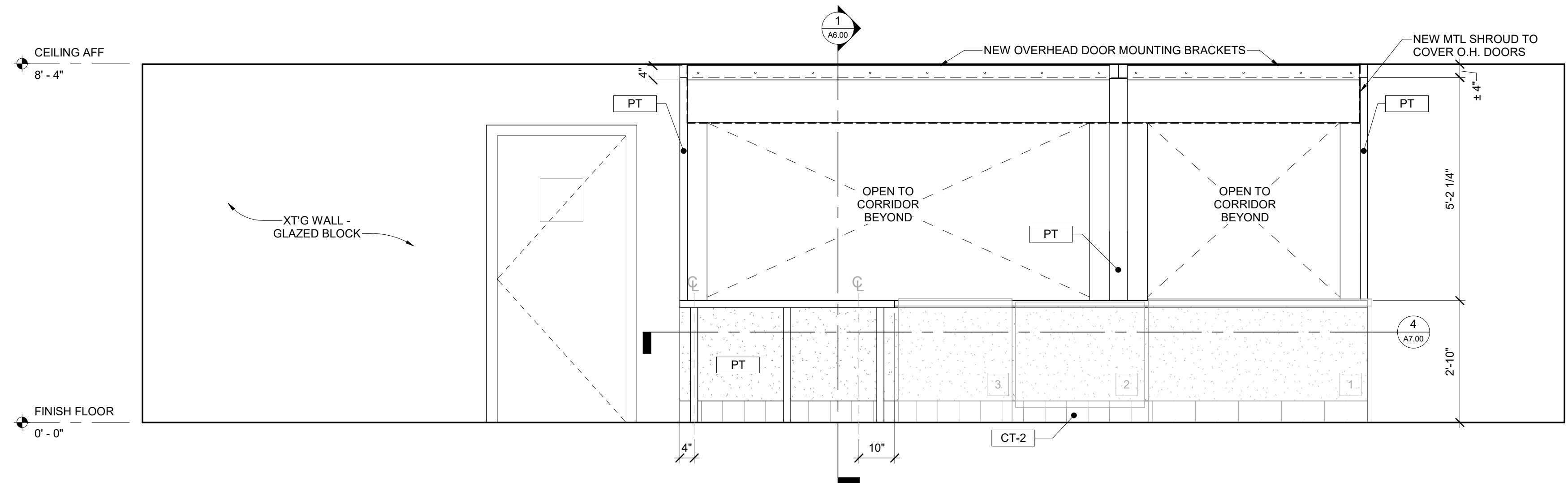
CONCEPTUAL IMAGE: PLEASE NOTE INTERIOR PERSPECTIVE IS INTENDED TO PROVIDE NEW SERVING COUNTER PROJECT SCOPE AND NOT ACTUAL BUILDING CONSTRUCTION.



4 PLAN DETAIL - KNEE WALL
SCALE: 1" = 1'-0"



2 CORRIDOR IE - EAST
SCALE: 1/2" = 1'-0"



1 KITCHEN IE - WEST
SCALE: 1/2" = 1'-0"



KOHLER ARCHITECTURE
1110 WEST FRONT STREET
MONROE, MICHIGAN 46161
WWW.KOHLERARCHITECT.NET



DATE: 03.18.2024
DESCRIPTION: BIDDING & STATE REVIEW

KITCHEN SERVING COUNTER ALTERATIONS & RELATED WORK

AT **RAISINVILLE ELEMENTARY SCHOOL**
2300 NORTH RAINVILLE ROAD, MONROE, MICHIGAN 48162
FOR **MONROE PUBLIC SCHOOLS**
1275 NORTH MACOMB STREET, MONROE, MICHIGAN 48162

JOB # **24102**

INTERIOR ELEVATIONS

A7.00